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CHARLIE GREEN CLERK OF COURT
LEE COUNTY
RECORDING FEE 244.50
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2744.50
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This instrument prepared by
and return to:
Vivien N. Hastings, Esq.
24301 Walden Center Drive
Bonita Springs, FL 34134

CERTIFICATE OF AMENDMENT TO DECLARATION AND
GENERAL PROTECTIVE COVENANTS FOR PELICAN LANDING

This Certificate is made this 15 day of June, 2000, by WCI Communities, Inc., a Delaware corporation, successor by merger of Pelican Landing Communities, Inc. (f/k/a Westinghouse Bayside Communities, Inc.) (the "Declarant").

WHEREAS, Declarant recorded that certain Amended and Restated Declaration and General Protective Covenants for Pelican Landing on January 18, 1991, in O.R. Book 2198, Page 1878 et seq., Public Records of Lee County, Florida, as amended (the "Declaration"); and

WHEREAS, in Article 13 of the Declaration, the Declarant reserved the right to make amendments to the Declaration and its recorded exhibits by Declarant's sole act until termination of the Class "B" control period; and

WHEREAS, the Class "B" control period has not been terminated, and the Declarant wishes to amend the Declaration to add the PELICAN LANDING and THE COLONY at PELICAN LANDING DESIGN/BUILD GUIDELINES as Exhibit "F" thereto.

NOW THEREFORE, the Declarant hereby amends the Declaration and the Amendment is adopted in the form attached hereto and made a part hereof as Exhibit "A" attached hereto and made a part hereof.

IN WITNESS WHEREOF, the Declarant has caused this Certificate to be duly executed this 15 day of June, 2000.

WITNESSES:

WCI COMMUNITIES, INC., a Delaware corporation

Laurel Y. Sitterly
Print Name: Laurel Y. Sitterly

By: Vivien N. Hastings
Vivien N. Hastings
Senior Vice President

Melanie Scire
Print Name: Melanie Scire

STATE OF FLORIDA)
COUNT OF LEE)

The foregoing instrument was executed this 15 day of June, 2000 by Vivien N. Hastings, as Senior Vice President of WCI Communities, Inc., a Delaware corporation, on behalf of the corporation. She is personally known to me.

Laurel Y. Sitterly
Notary Public
Print Name: Laurel Y. Sitterly
My Commission Expires:



AMENDED AND RESTATED DECLARATION AND GENERAL
PROTECTIVE COVENANTS FOR PELICAN LANDING

Additional language indicated by underlining.

Article XI (ARCHITECTURAL STANDARDS)

The following sentence shall be added to the third paragraph of Section 1. Design Review Committee, which shall read as follows:

"A copy of the PELICAN LANDING and THE COLONY at PELICAN LANDING DESIGN/BUILD GUIDELINES is attached hereto as Exhibit "F" and made a part hereof."

EXHIBIT "A"

PELICAN LANDING and THE COLONY at PELICAN LANDING
DESIGN/BUILD GUIDELINES

WCI Communities
24301 Walden Center Drive
Bonita Springs FL 34134
(941) 947-2600

First Printing, November 1991,
Revised March and October 1994, January 1996, and June 1997,
Latest Revisions May and June 2000.

EXHIBIT "F"

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**Insert: Multi-family parcel design (a 5-page supplement)
 Request for Design Review Form**

I. INTRODUCTION

Pelican Landing is an exclusive 1,800 acre mixed-use community being developed by WCI Communities, Limited Partnership, a leader in the land and community development business.

Pelican Landing, bordered by Estero Bay and Spring Creek, is home to Pelican's Nest Golf Course, one of the most beautiful and challenging golf courses in Florida. The natural characteristics of this unique coastal setting are being carefully blended with residential development to create a very special community offering a most desirable Florida lifestyle.

PURPOSE — The guiding philosophy of WCI Communities, Limited Partnership is to restrict its activities primarily to community development, allowing individual builders to share in the profits of residential home development. However, tight control is exercised over the aesthetic quality of building in order to ensure a quality community with custom homes at competitive prices. To avoid obsolescence and maintain quality, WCI Communities utilized good land planning in the design phase, proven construction techniques in the building phase, and the company provides the means to enforce protective covenants long after the last homesite has been sold. In this way, we have been able to secure and maintain our customers' trust and confidence.

Realizing the goal of a community of exceptional quality depends upon the cooperation of owners, designers, builders and contractors who will follow the Design Review Committee's (DRC) architectural standards and guidelines. These standards are intended to be used by builders, prospective purchasers and purchasers of homesites and parcels as a guide for developing plans for new construction

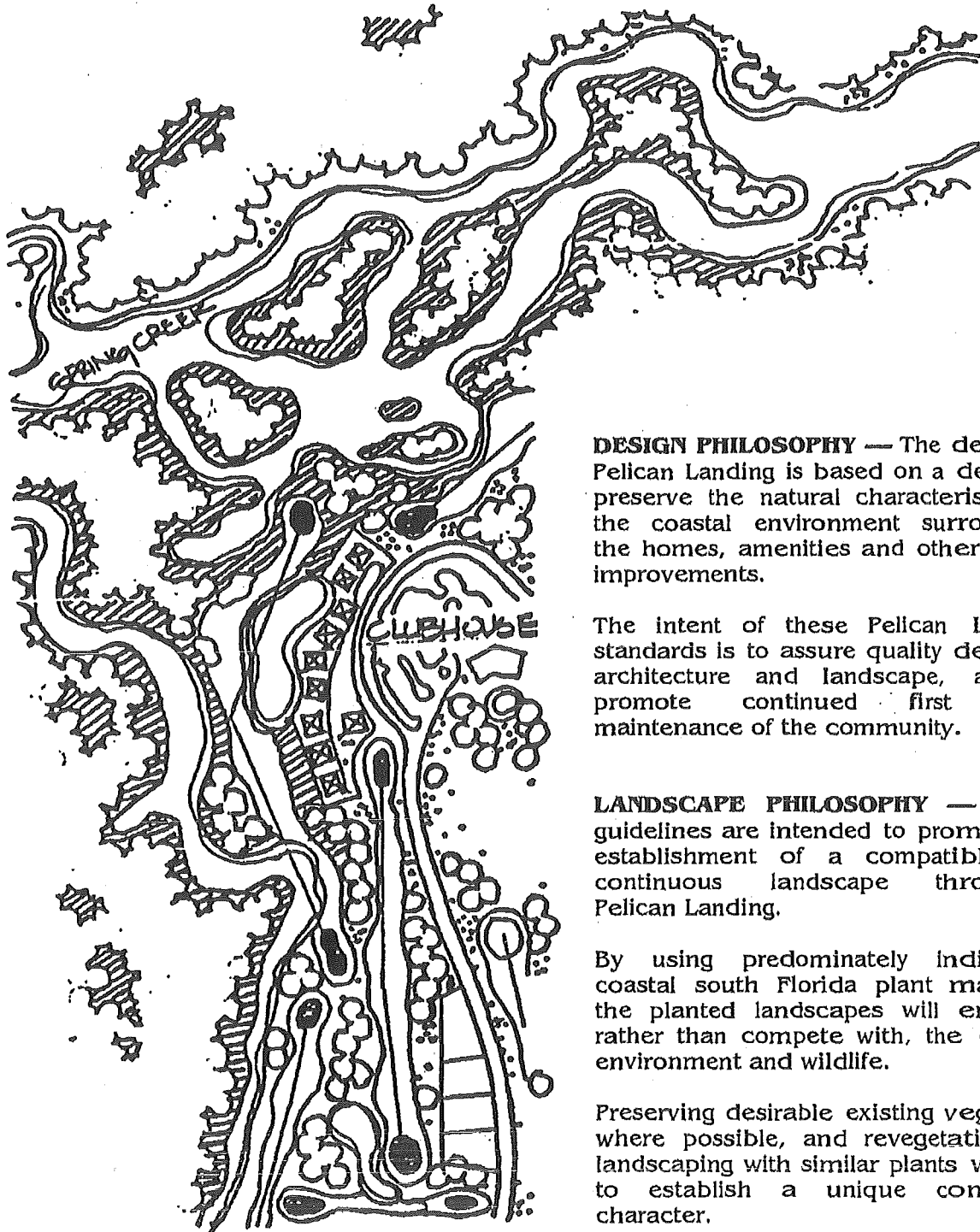
as well as changes to existing structures and homesites. From time to time, these guidelines may be amended.

WCI's Design Review Committee must review all plans prior to the start of construction on any site in Pelican Landing. Construction may not commence or be permitted without the DRC's written approval. Any approval given is for aesthetic purposes, and does not address engineering or technical merits of construction documents, nor does it certify compliance with relevant building codes or ordinances for which the owner/builder is responsible.

Compliance with the DRC's guidelines is mandatory, and enforcement measures may be taken pursuant to the terms of the Amended and Restated Declaration and General Protective Covenants for Pelican Landing, dated January 31, 1991, as may be amended from time to time (the "Declaration"), and the other governing documents for Pelican Landing.



**PELICAN
LANDING**



DESIGN PHILOSOPHY — The design of Pelican Landing is based on a desire to preserve the natural characteristics of the coastal environment surrounding the homes, amenities and other added improvements.

The intent of these Pelican Landing standards is to assure quality design in architecture and landscape, and to promote continued first class maintenance of the community.

LANDSCAPE PHILOSOPHY — These guidelines are intended to promote the establishment of a compatible and continuous landscape throughout Pelican Landing.

By using predominately indigenous coastal south Florida plant materials, the planted landscapes will enhance, rather than compete with, the existing environment and wildlife.

Preserving desirable existing vegetation where possible, and revegetating and landscaping with similar plants will help to establish a unique community character.

II. DEFINITIONS

PRELIMINARY CONCEPT PLANS —

These plans should be prepared with sufficient detail to show the following:

A. Building siting and relationships to other existing structures. Such siting may require setbacks and side yards in excess of recorded minimum. The owner/builder should determine setback requirements as established by WCI before preparation of Concept Plans. Minimum Scale: 1" = 20' single-family homesites and 1" = 50' multi-family or commercial parcels.

B. General exterior architectural character and treatment, building materials, roof pitch, window arrangement, interior treatment, fence location, driveway configuration, extent and type of impervious materials. Scale: 1/8" or 1/4" = 1'.

C. General interior room arrangement. Scale: 1/8" or 1/4" = 1'.

D. A survey of existing vegetation prepared by a surveyor. Locate all trees over 5" diameter at breast height (DBH) on the site. Provide a plan for clearing building and driveway areas on the site (see Clearing Graphic).

E. Conceptual landscape plan treating buffering for privacy and shielding of exterior mechanical equipment, including vegetation to be retained, indicating areas of sod/ground cover, plant beds, shrubs and trees. Minimum scale: 1" = 10' single-family homesites, and 1" = 30' multi-family or commercial parcels.

F. For multi-family or commercial developments proposed signage, lighting, amenities and other infrastructure elements are required to be shown on the plans.

DESIGN PROPOSALS — are extensions of Preliminary Concept Plans but are more definitive and prepared to professional standards, with sufficient detail to determine the character of finished construction. Include: existing vegetation, proposed clearing, all elevations, exterior appearance, the quality and kind of interior and exterior building materials and proposed landscape materials. The layout and final details of mechanical installations need not be included at this stage, but must be included in the final Construction Plans and Specifications. Design Proposals should be drawn to scale and show room dimensions.

FINAL CONSTRUCTION PLANS AND SPECIFICATIONS AND FINAL

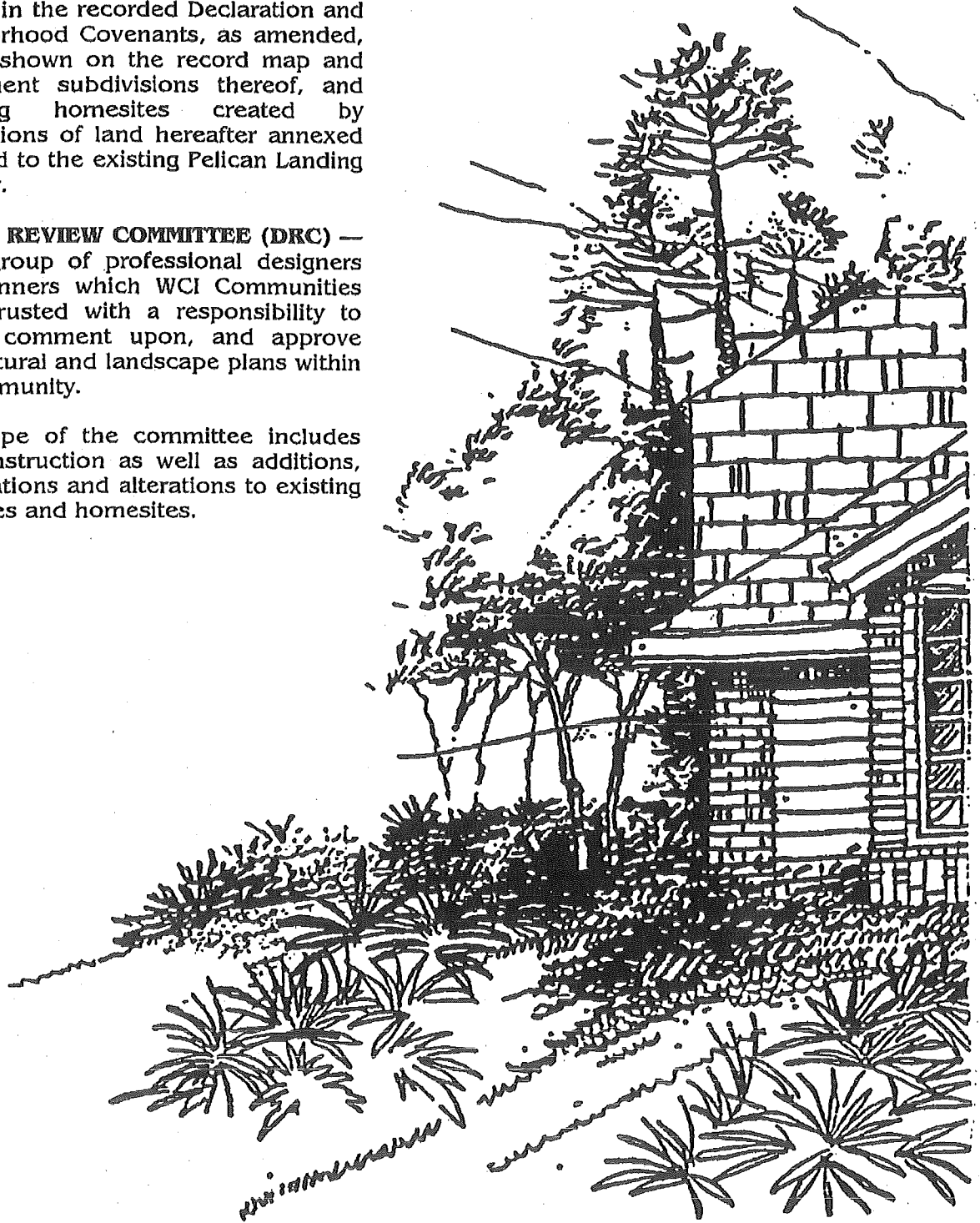
LANDSCAPE PLANS — are a true and exact copy of the plans to be submitted to Lee County for building permit purposes. The plans are to be in compliance with applicable zoning codes, ordinances, architectural control standards and restrictions of record; and they are to be a true extension of the Preliminary Concept Plans and Design Proposals as previously approved by the Design Review Committee.

PELICAN LANDING — is the mixed-use development consisting of all that real property shown on the recorded map, any subsequent subdivisions therein, and including any real property which may hereafter be annexed or added to the existing Pelican Landing property in accordance with the Declaration and other governing documents of Pelican Landing by recorded document and/or proceedings before the appropriate governmental agencies.

HOMESITES — are the individual homesites within Pelican Landing as defined in the recorded Declaration and Neighborhood Covenants, as amended, and as shown on the record map and subsequent subdivisions thereof, and including homesites created by subdivisions of land hereafter annexed or added to the existing Pelican Landing property.

DESIGN REVIEW COMMITTEE (DRC) — is the group of professional designers and planners which WCI Communities has entrusted with a responsibility to review, comment upon, and approve architectural and landscape plans within the community.

The scope of the committee includes new construction as well as additions, modifications and alterations to existing structures and homesites.



III. PLAN APPROVAL PROCEDURES

REQUIRED before final approval:

- () Site Plan (preliminary)
 - () Vegetation Survey
 - () Grading Plan (show min/max finished floor elevations of home or buildings)
 - () Landscape Plan
 - () Irrigation Plan
 - () Samples of Exterior Materials and Colors
 - () Completed DRC Specifications Form
 - () Construction Plans - four (4) sets
- Include:
- () Site Plan (final)
 - () Floor Plans
 - () Elevations
 - () Roof Plan
 - () Electrical Plan
 - () Engineering Plans (parcel developments)

Note: Plan approval procedures apply to both multi-family housing and single-family homesites, however for single-family it may be convenient to combine Preliminary Concept Plans and Design Proposals.

PLAN SUBMITTALS — With no exceptions, all communications and plan submittals must be directed to the Planning Director in care of the DRC at the address set forth on the title page.

Ordinarily the DRC will provide a written response within fifteen (15) days of receipt of each stage of plan submittal. Contracts for single-family homesites generally allow twenty (20) days to respond.

Written approval or denial will be sent to the purchaser of the property with a copy to the address listed on the *Request for Design Review* form (if different from that of the purchaser).

Preliminary Concept Plans — The owner/builder must submit two (2) sets of plans only to the DRC with the *Request for Design Review* form completed and attached to each set.

The DRC will grant written approval, conditional approval, or deny approval of Preliminary Concept Plans based on criteria it considers reasonable and necessary. Any changes required by a conditional approval must be incorporated in subsequent plans; failure to do so will be grounds for denial of Final Plans. Any changes identified as "recommended" will not be mandatory, but should be given careful consideration prior to drafting Design Proposals.

Any denial of approval will be accompanied by a statement setting forth the reason(s). Any denial can be appealed by written notice to the Board of Directors of the Pelican Landing Community Association within 15 days of disapproval. The Board's decision on any appeal shall be final.

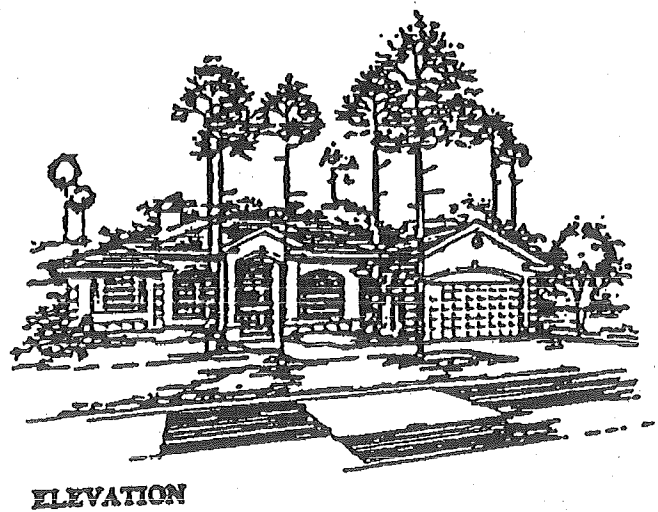
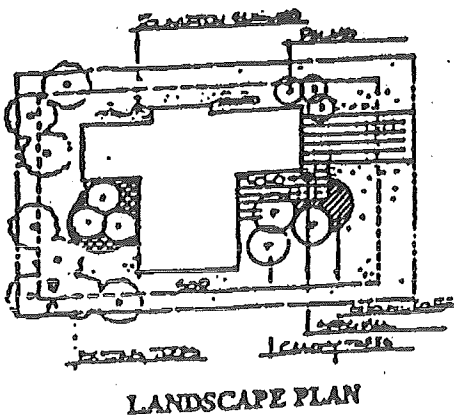
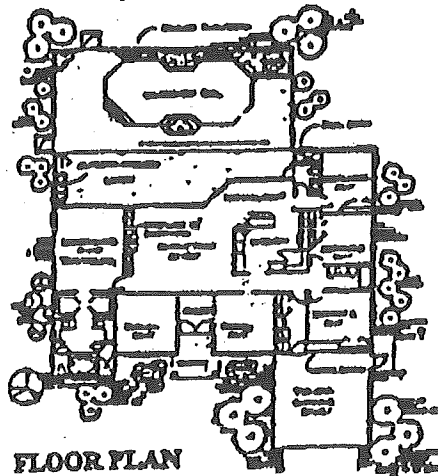
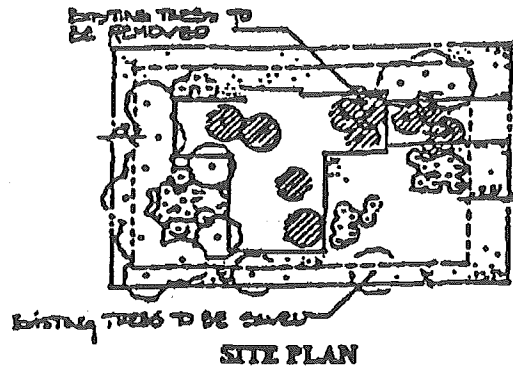
Design Proposals — The owner/builder must submit two (2) sets of plans only to the DRC with the *Request for Design Review* form completed and attached to each set. Review and approval procedure is the same as stated above under Preliminary Concept Plans. Changes recommended by the DRC should be carefully considered prior to preparation of final construction plans.

Final Construction Plans and Specifications — The owner/builder must submit first to DRC four (4) sets of plans and specifications with a *Request for Design Review* form completed and attached to each set.

The DRC will grant written approval, conditional approval or denial based on these plans being true extensions of previously reviewed submittals at Preliminary Concept and Design Proposal stages.

When approved, all four sets of plans and specifications will be stamped approved, signed and dated by the Design Review committee. One set will be kept for the DRC's reference files, and three sets will be returned to the builder for his use in obtaining a Lee County building permit.

CHANGES TO APPROVED "FINAL" CONSTRUCTION PLANS — changes may be necessary or desirable during or after the construction process. In this event, submit a *Request for Design Review* form together with plans and specifications showing the nature, kind, shape, color, size, materials and location of such changes. The request should specifically state whether desired changes are at the request of a purchaser who has contracted to buy the finished residence. Include any other documents that are necessary for DRC to fairly evaluate the requested change and reply in writing.



Preferred Builders/Non-Preferred Builders

Portions of Pelican Landing (including the neighborhoods of Bay Creek II; Bellagio, Messina Court and Tuscany Isles in The Colony) have a Preferred Builders Program. Please check with the sales center or sales agent to determine the applicability of the program to the different neighborhoods within Pelican Landing. Builders not currently involved in the "Preferred Builders Program" are subject to approval by WCI and in some cases, by the developer of the neighborhood. Requirements include, but may not be limited to, the following:

A. Descriptive literature, if available, about the firm; including a list of residential communities in which such builder has built single family residences or patio homes during the last five years, and the name and address of three clients for whom such builder has built or started a residence in the past twelve months.

B. A current financial statement.

C. Additional information requested.

Status as a Preferred Builder does not represent a warranty by WCI, express or implied, of the ability, financial standing, reliability or any other matter related to the choice of a preferred builder to build a prospective purchaser's home. WCI does not warrant the merchantability or habitability of any such builder's work product.

DESIGN REVIEW FEE

If a Non-Preferred Builder is approved to build, a Design Review Fee may be payable to WCI in the amount up to twenty percent (20%) of the price of the homesite and must accompany the submission of final building plans and landscape plans. **Each purchaser should check with his or her builder as to payment of the Design Review Fee.**

Two Thousand (\$2,000) Dollars of the Design Review Fee will be returned to the purchaser and/or builder who paid the Design Review Fee, after the following items have been completed:

1) Completion of the residence in accordance with the approved architectural and landscape plans and specifications, to the satisfaction of the DRC.

2) Possession of a final certificate of occupancy no later than eight (8) months from the date of homesite

closing (twelve (12) months in Tuscany Isles), with a copy provided to the DRC.

The remaining fee amount is non-refundable and will be applied by WCI to expenses including, but not limited to, payment of fees for any design professionals who sit as members of the Design Review Committee, and administrative costs associated with the Design Review process.

BELLAGIO AT THE COLONY. Notwithstanding the foregoing, the following rules apply in the BELLAGIO AT THE COLONY neighborhood of Pelican Landing: In the event a purchaser elects to contract with a non-approved builder to construct a residence on a site in BELLAGIO AT THE COLONY:

A. The purchaser is obligated to pay a Design Review Fee in the amount of \$5,000.00 to WCI for review of the Design Review Application to be paid at the time of submission of the application, \$2,500.00 of which shall be refunded upon receipt of a certificate of occupancy and completion of the home and site in accordance with the design review requirements imposed in the neighborhood and the approvals given; and

B. A lot price surcharge shall be paid to the Developer of Bellagio (Bellagio at the Colony, Ltd.), at the time Purchaser contracts with the non-preferred builder equal to twenty percent (20%) of the purchase price for Purchaser's site. WCI is not involved in this transaction. **Each purchaser should check with his or her builder as to payment of this Fee.**

MARKETING FEE

In addition to the foregoing, as reimbursement for costs associated with the marketing, sales and advertising of preferred builders and sub-developers within the Pelican Landing community, WCI or its affiliated entities may be entitled to a marketing fee/brokerage commission (up to 7% of the contract price) from such builders and sub-developers, which may be paid by such builders or sub-developers or may be charged to the purchaser. **Each purchaser should check with his or her builder as to payment of this Fee.**

V. SITE PREPARATION AND JOB SITE MAINTENANCE

Specific approval from the DRC is required before any trees or shrubs may be moved or removed from the homesite or parcel.

After the property lines and buildings have been staked and prior to clearing, the owner, the site contractor and a representative of the DRC will meet on-site to determine the extent of clearing operations. Usually, initial clearing will be limited to clearing of the building pad and driveway area (see clearing graphic). Additional clearing in accordance with the approved landscape plan may be allowed at a later stage in construction.

Before construction, the contractor is responsible for having staked and flagged the location of all underground utilities to avoid potential damage.

All construction materials, vehicles, equipment, supplies, temporary facilities and construction activities must be contained entirely within the building plot. Prior to closing on a site, the buyer should note the condition of physical aspects on and near his site, such as sidewalks, street lights, FPL and telephone boxes, storm drains, existing vegetation, etc. The owner/builder is responsible for any damage to subdivision improvements during construction, and any such damage must be repaired by the owner/builder at his expense.

All building debris must be placed in an approved container and removed when filled. No uncontained debris may be placed on any site. During construction the owner/builder is responsible for keeping the building site clean at all times, and for installing and maintaining

in good condition, barricades to protect existing vegetation (See Graphic page 9). For homes under construction, builders must install envirofence along the lot lines.

VI. GUIDELINES FOR CONTRACTORS

Construction hours are between **7:00 A.M. and 6:00 P.M. Monday through Saturday.**

All construction, maintenance, and/or repair which causes noise or disruption, or which unreasonably disturbs the neighborhood must be limited to the above hours; and is not allowed outside of those periods or on national holidays except for emergencies. Radios and tape/CD players are not permitted on sites with golf course frontage. When radios are in use, they must not disturb residents.

All construction vehicles must enter/exit the property only at WCI designated construction entrances, and access the sites through cleared driveways.

Contractors will be provided with **one sign per homesite or parcel** which will display the primary contractor's name. This sign will have receptacles for permits and plans as required by Lee County. **All other signs are prohibited**

The general contractors are responsible for the timely completion of the residence and grounds in accordance with the architectural and landscape plans and specifications to the satisfaction of the Design Review Committee. The DRC **will not certify** satisfactory completion to Pelican Landing Properties **until all elements are complete.**

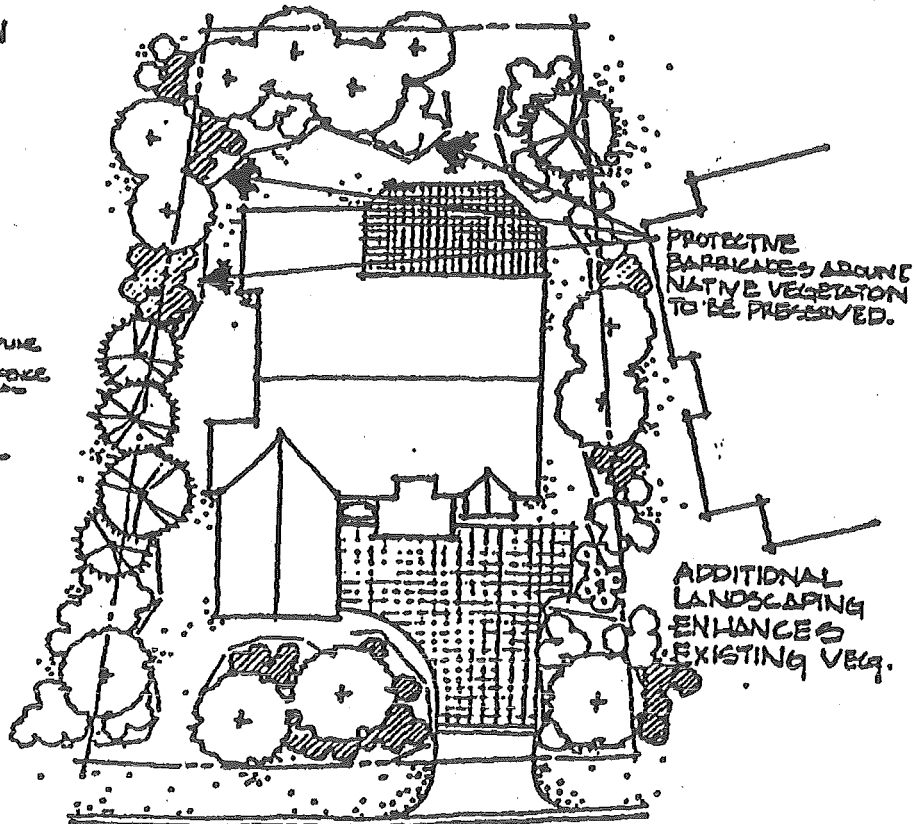
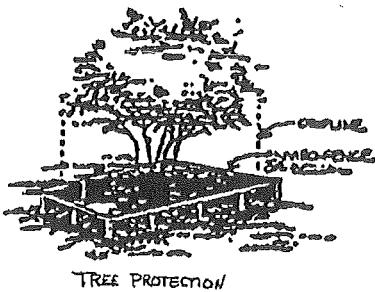
BEFORE CLEARING:

- LOCATE AND STAKE PROPERTY CORNERS
- RUN A STRING LINE BETWEEN CORNERS
- LOCATE AND STAKE BUILDING CORNERS
- STAKE POOL/PATIO CORNERS, AND DRIVEWAY EDGES SEPARATELY CONNECT WITH STRING LINE.
- CALL NBC'S LANDSCAPE PLANNER FOR ON SITE REVIEW. 147-2600
- NBC AND OWNER/CONTR- ACTOR WILL DETERMINE VEGETATION TO BE PRESERVED

THROUGHOUT CONSTRUCTION:

- BARRICADES & STRING LINES MUST REMAIN PROTECTIVELY IN PLACE
- VEGETATED AREAS IN BARRICADES MUST NOT BE CLEARED, ALTERED OR DAMAGED.
- DRIVEWAY LOCATION TO BE ONLY ACCESS FOR CONSTRUCTION VEHICLES
- NO TRUCKS, ETC. ON PROTECTED VEGETATION.
- ALL CONSTRUCTION DEBRIS/TRASH TO BE REGULARLY REMOVED FROM SITE

EXISTING VEGETATION PROVIDES BUFFER BETWEEN HOMES, AND LOWERS MAINTENANCE & LANDSCAPE COSTS.



VII. PLANNING & DESIGN CRITERIA

SETBACKS — Before preparing Preliminary Concept Plans, the owner/builder should contact the WCI Planning Director for an accurate plot map and its specific setback requirements including information on easements, rights-of-way etc. The builder is responsible for verifying location(s) of all recorded easements.

Minimum setback requirements for a detached residence on a *single-family* homesite are established by separate recorded documents for each neighborhood. Obtain copies from Pelican Landing Properties; and see neighborhood guidelines at back of this exhibit.

Upon the prior written approval of the DRC, minimal screens or walls for privacy, and enclosures for mechanical equipment may be erected within side and/or rear setback lines provided it can be completed without encroaching upon an easement.

Minimum setback requirements for *multi-family* parcels shall be as approved at the Final Plan stage.

MINIMUM/MAXIMUM FINISHED FLOOR LEVELS — The DRC must approve minimum finished floor elevations for each homesite. Generally, the maximum allowable finished floor elevation of the main living space for a home will be eighteen inches (18") above the crown of the road; and the minimum allowable finished floor elevation will be that established by Southwest Florida Water Management District. Relevant figures are available at the WCI Planning Office.

Care must be taken to handle surface water runoff. The homesite or parcel area must be graded to provide a positive drainage pattern leading to one

or more of the property lines subject to the DRC's approval.

No drainage may be directed to golf course property unless the DRC has granted specific written approval. Building grades relative to street elevations must be indicated on Final Construction Plans and approved by the DRC. Such plans should take into account the extent and effect of backfill and landscape grades and DRC drainage requirements for the homesite. Plans must show existing and proposed elevations of:

- () Adjacent centerline of road,
- () Garage slab level,
- () Lowest finished floor level,
- () Patio level(s), and
- () Drainage/grade at property lines.

Builders are responsible for adherence to codes, ordinances, etc., and for providing positive drainage for the homesite.

BUILDING SIZE — The minimum size of dwelling units permitted is determined by WCI on an individual basis. The requirements are stated within the Neighborhood Supplemental Covenants and are based on the total air-conditioned space. See neighborhood guidelines at back of this exhibit.

BUILDING HEIGHT — is the vertical distance measured from the finished grade of the lot or the minimum base flood elevation, whichever is greater, to the mean height level between eaves and ridge of gable, hip and gambrel roofs. See neighborhood supplements for requirements.

ELEVATIONS — The architectural character of the residence should be carried through on all sides of any structure.

EXTERIOR MATERIALS AND COLORS

— Natural stone, real brick, stucco and wood exterior materials are preferred. Exterior colors judged to be inharmonious, discordant and/or incongruous for Pelican Landing will not be permitted.

Samples of proposed exterior materials and colors may be required at the time Preliminary Plans are submitted for approval. Exterior colors must be included with Final Plans; and any subsequent color or material changes require written approval of the DRC.

WINDOWS, DOORS, PATIOS AND SCREENED PORCHES

— Windows should be clear glass or a tinted glass of bronze, gray or smoke color. No reflective glass or reflective tinting may be used. All glazing subject to errant golf balls should be impact resistant.

Bronzestone pool/patio frames and screening is encouraged for all Pelican Landing homes and is the standard for homes on lakes and golf course.

GARAGES, DRIVEWAYS AND WALKWAYS

— All single-family residences must have attached garages with space for a minimum of two (2) cars. Side entry garages are encouraged and automatic garage door operators are required. Carports are not permitted on single-family homesites, and in multi-family developments are expected to reflect architectural details of the residential structures.

Enriched, decorative surfaces such as interlocking pavers, brick, colored/patterned concrete, exposed aggregate, etc. are expected. Plain concrete is discouraged in all neighborhoods, while most neighborhoods require decorative surfaces. Neither asphalt nor gravel driveways will be allowed in any of the single-family neighborhoods.

The flare of the driveway at the adjoining street pavement must not extend beyond a straight line projection of the side lot line. A minimum five foot (5') wide landscape buffer must be maintained between the driveway surface and the side lot line.

LIGHTING — A lighting plan is to be part of the final construction plan submittal for DRC approval. All light fixtures must be of good quality and finished to blend with the surroundings. Fixtures should be compatible with the architecture of the residence and the community. Exposed bulbs are not permitted.

Low wattage lamps are to be used for all outdoor fixtures. Colored lenses (e.g. blue, green, red, etc.) are not permitted. Exceptions may be made for temporary decorative lighting at holiday times.

Shield glare from lighting to prevent nuisance glare onto adjacent properties or the golf course.

Conceal "uplights" as much as possible by using shrubs to decrease their visibility during the daytime.

Above grade fixtures will not be permitted in turf areas; completely recessed fixtures may be allowed.

Walkway lighting projecting downward only, may be used along walkways and driveways with review and written approval from the DRC.

Post lights are discouraged; if allowed, they must be approved in writing on a "site specific" basis.

WATER FEATURES — are discouraged unless they can be justified for use in Pelican Landing's natural setting.

Any water feature visible to the public requires approval by the DRC. If approved, water features must be kept in scale with the residence(s) and have limited jets, sprays and surface area, to reduce the loss of water through evaporation.

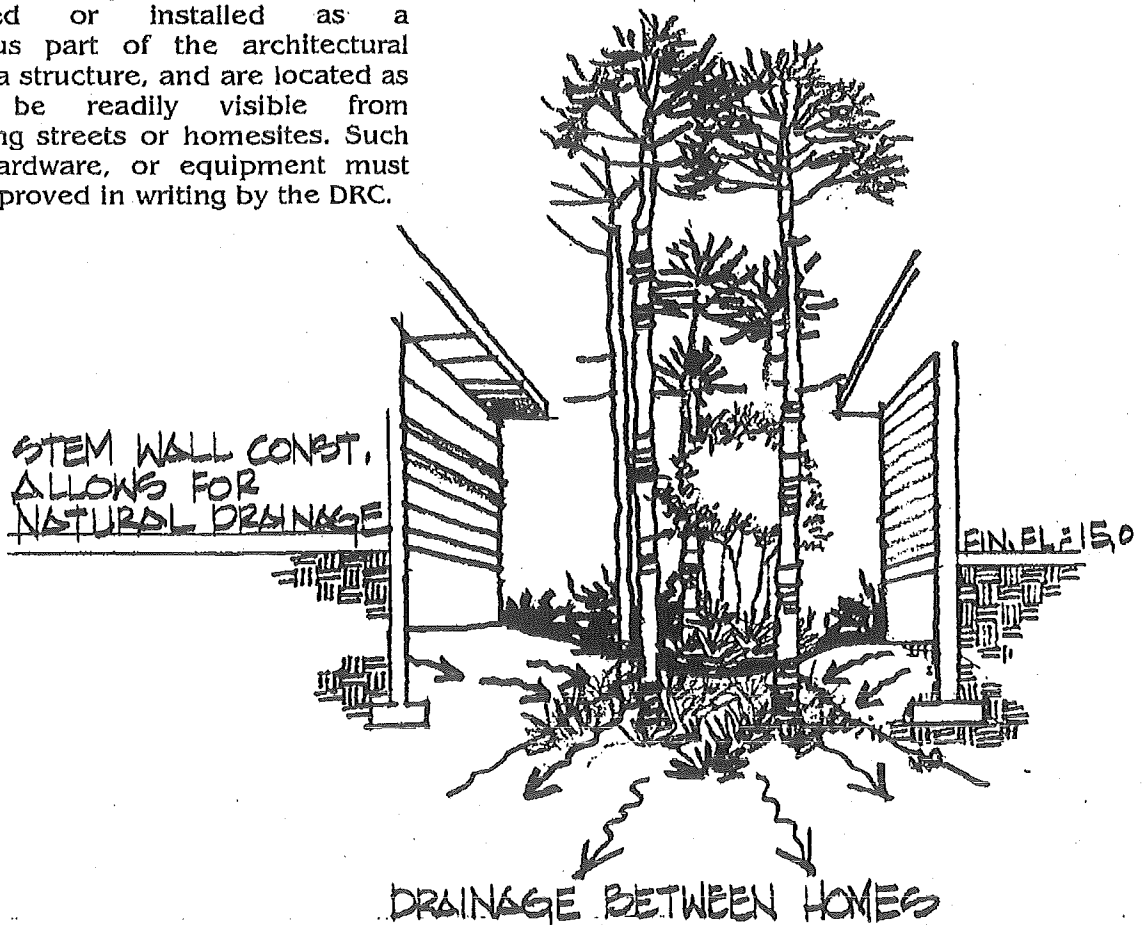
It is recommended that water features be designed within a courtyard for the benefit of residents only.

SOLAR PANELS — Solar Energy Collector Panels or attendant hardware, or energy conservation equipment shall be permitted provided they are constructed or installed as a harmonious part of the architectural design of a structure, and are located as not to be readily visible from surrounding streets or homesites. Such panels, hardware, or equipment must first be approved in writing by the DRC.

ACCESSORY STRUCTURES — Playhouses, tool sheds, gazebos, doghouses, etc. are not permitted unless specific written approval from the DRC is obtained as part of approved plans, or by separate request.

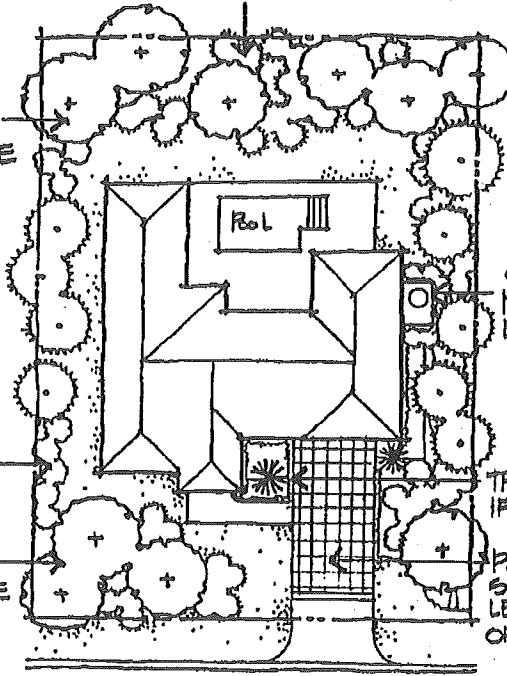
Similarly, no decorative object such as sculpture, weathervane, flagpole, birdbath, fountain, etc., may be placed where it would be visible from streets, golf course, or adjoining homesites and parcels, unless the DRC grants written approval.

LANDSCAPING — Refer to the following sketch suggestions prior to preparing landscape plans.



AUGMENT EXISTING VEGETATION WITH ADDITIONAL FOLIAGE AND COLOR

REQUIRED CANOPY TREES BUFFER MASS OF STRUCTURE



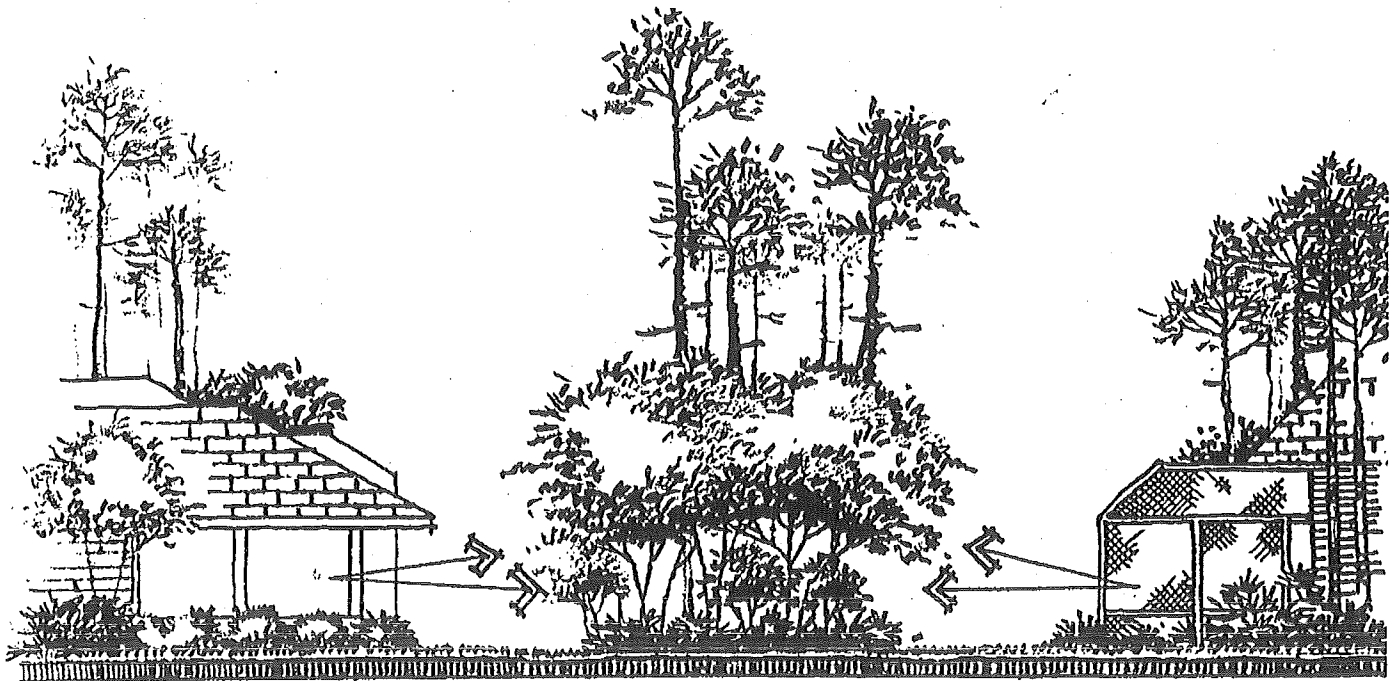
SCREEN MECHANICAL EQUIPMENT

BUFFER VIEWS TO ADJACENT HOME WITH LANDSCAPING

TROPICAL ACCENT IF DESIRED

STREET TREES COMPLIMENT NATIVE VEGETATION

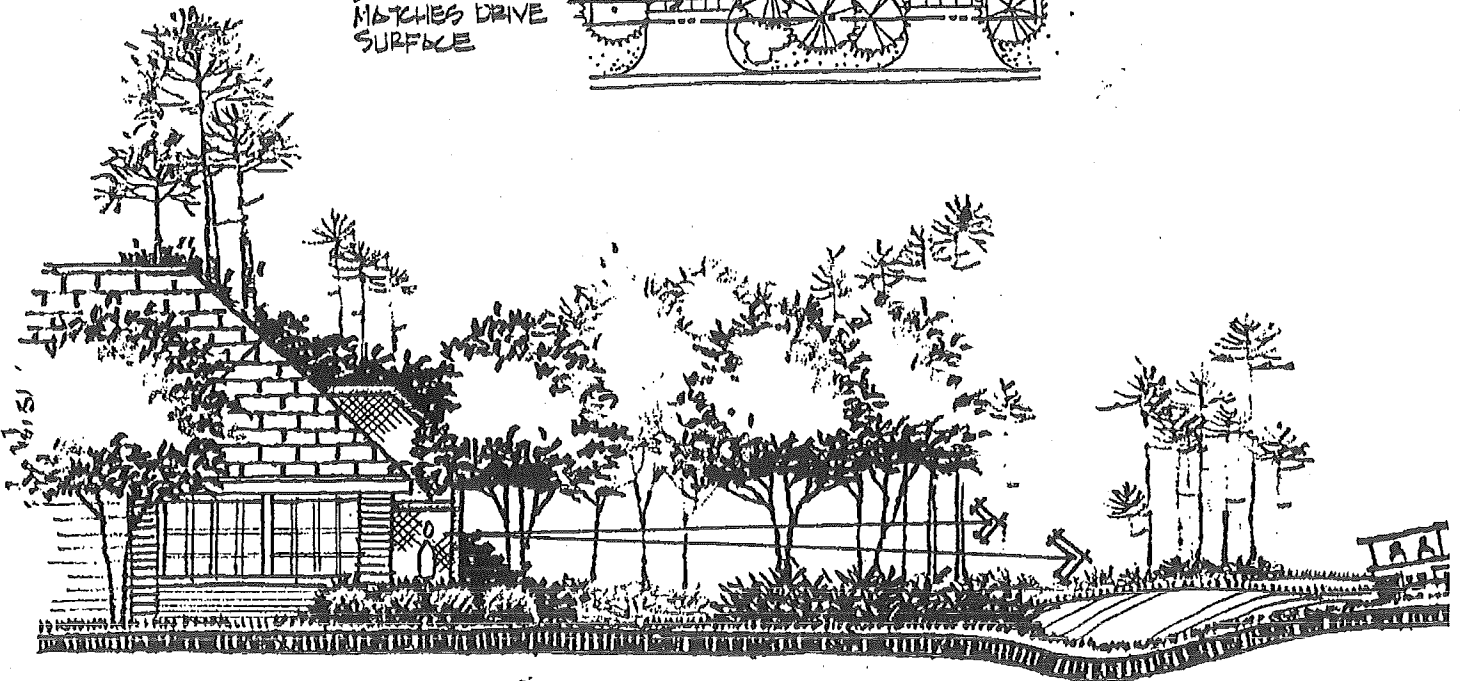
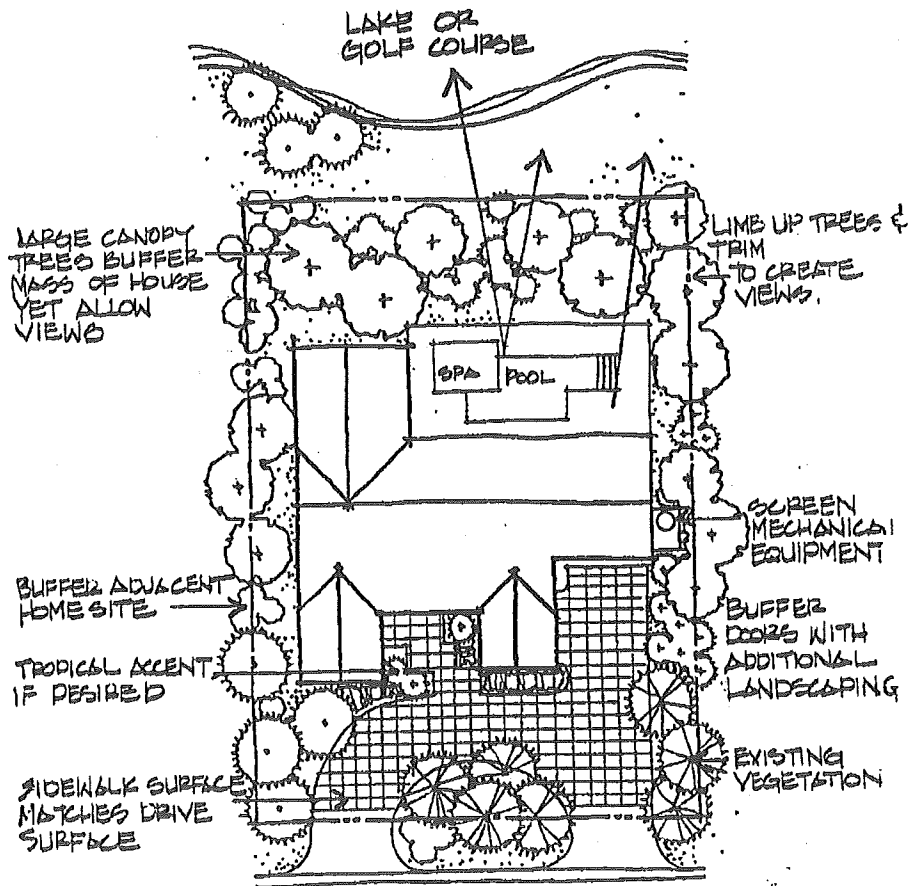
PATTERNED SURFACE LESSENS IMPACT OF LARGE DRIVE.



FOUNDATION PLANTINGS MAKE TRANSITION FROM HOUSE TO SITE

EXISTING VEGETATION ACTS AS NATURAL BUFFER BETWEEN HOMESITES. ENHANCE WITH ADDITIONAL LANDSCAPING.

PLANTING BEDS ACCENT NATURAL AREAS (I.E. COLOR)



- BRONZETONE POOL CAGE RECEDES FROM VIEW
- LARGE CANOPY TREES BUFFER HOME YET ALLOW VIEWS OUT
- FOUNDATION PLANTINGS MAKE TRANSITION FROM HOME TO SITE.
- LIMB UP TREES AND TRIM PALMETTO TO ALLOW VIEWS.
- EXISTING VEGETATION ALLOWS BUFFER BETWEEN GOLF COURSE AND HOMESITE.

Landscape Materials — See "Recommended Landscape Plant Palette" (pages 19 and 20) and "Prohibited Plant Species" (page 18) which list some plants that are prohibited because of weed-like growth habits, high water demands, or other traits considered undesirable.

Single-family/Multi-family General Guidelines — Any portion of the site not used for buildings, patios, driveways, or sidewalks must be landscaped at the time improvements are made. Wherever possible, suitable existing vegetation shall be preserved, protected, and incorporated into the landscape plan. Building areas are to be selectively cleared according to Pelican Landing Community Guidelines (see page 9). Landscape plans must include area to back of curb and to water's edge on lake front sites. All sites must be landscaped in accordance with these guidelines and must be provided with an automatic irrigation system. All exterior mechanical equipment and garbage containers must be screened from all views at the time of planting.

A. Owners are encouraged to obtain the services of a professional landscape architect. These professionals have the ability to analyze the unique potential of each site and to understand and address the needs of the owner.

B. Prior to landscape installation, stake and flag the location of all underground utilities to avoid potential damage.

C. All landscaping must be executed according to the approved landscape plan. Landscaping must be completed no later than thirty (30) days after final county inspection, and prior to final inspection of the residence by the DRC.

D. Landscaping requirements and/or allowances may not be delegated to subsequent purchasers.

E. St. Augustine turf is required and must be contained by edging to provide a clean appearance. Mulch areas must be maintained.

F. Plants of an appropriate size and shape for the yard being designed should be selected. Keep in mind the expected mature size to avoid a future need for excessive continual pruning, particularly in narrow side yards.

G. Single-trunk trees are recommended for narrow spaces or near structures so that canopies will be higher and circulation unrestricted. Hedge rows of trees are not allowed. Trees should be planted singularly or in natural groupings.

H. Shade trees should be located near the house for maximum cooling effect.

I. Plants (other than trees) shall not overhang any public walkways or streets. Trees may canopy over walkways if the canopy is maintained at a minimum of 10 feet (10'), and over streets at a minimum of fourteen feet (14').

J. Some high shrubs and low canopy trees may be excluded from front yards if they are judged: to pose potential restrictions, to clear visibility at intersections of driveways with streets, or at street corner sight lines.

K. Shrubs of a single variety should be massed to avoid a sporadic appearance. By limiting the variety of plant material selected, a cohesive design will result.

Using many types of plants can produce a confusing design that detracts from the residence instead of creating a desirable and fitting landscape frame.

L. For curb appeal, the landscape between yards should flow together by eliminating hard line boundaries such as curbs or hedges. Ground plane toppings on adjacent lots should have a minimum color contrast.

M. Privacy between sites and the golf course may require landscape buffers, including large trees. All mechanical and utility equipment must be screened from view at time of planting.

N. Where sites abut the golf course, the landscape of the homesite (or parcel) must be designed to blend with the natural landscape of the golf course. Landscape and grades of the golf course must not be modified in any way unless approved by the DRC..

O. Before clearing begins, an on-site meeting with a representative of the DRC, the owner, and the clearing contractor is required; following which, DRC will grant approval, specifying limits of the area to be cleared and vegetation to be preserved. Clearing of natural areas between the site and golf course must be carried out and maintained according to mutual agreements and approvals resulting from this on-site review (see clearing graphic).

Modification to the Landscape — Any proposed modifications which will be visible to the public or to adjacent properties require written approval by the DRC before such modifications are made.

IRRIGATION — All irrigation water at Pelican Landing will be supplied to the homesite (or parcel) by a separate non-potable water system. The landscape planting plan and corresponding irrigation system should be designed:

- According to Xeriscape principles which are outlined in the South Florida Water Management *Xeriscape Guide* (available at the Sales Center);
- To meet the peak demands of all the plant material; and
- To minimize run-off and loss of water. Use of tensiometer and rain guards are encouraged to prevent unnecessary watering of the landscape during rains.

Provide all landscaped areas with an automatic irrigation system. Do not irrigate natural areas, as this is detrimental to existing vegetation and causes growth of weeds. Drip irrigation is recommended for trees, shrubs, and groundcover to conserve water; spray or subterranean systems should be used for turf areas. All systems should be installed below grade.

The owner is responsible for a properly designed irrigation system and for regularly checking to ensure that water from emitters or spray heads is not directed onto walks or driveways, or off the owner's property causing unnecessary water loss or staining, or upon areas not designed to receive water.

The irrigation system must be installed and working properly prior to, or at the same time as, the installation of any plant material.

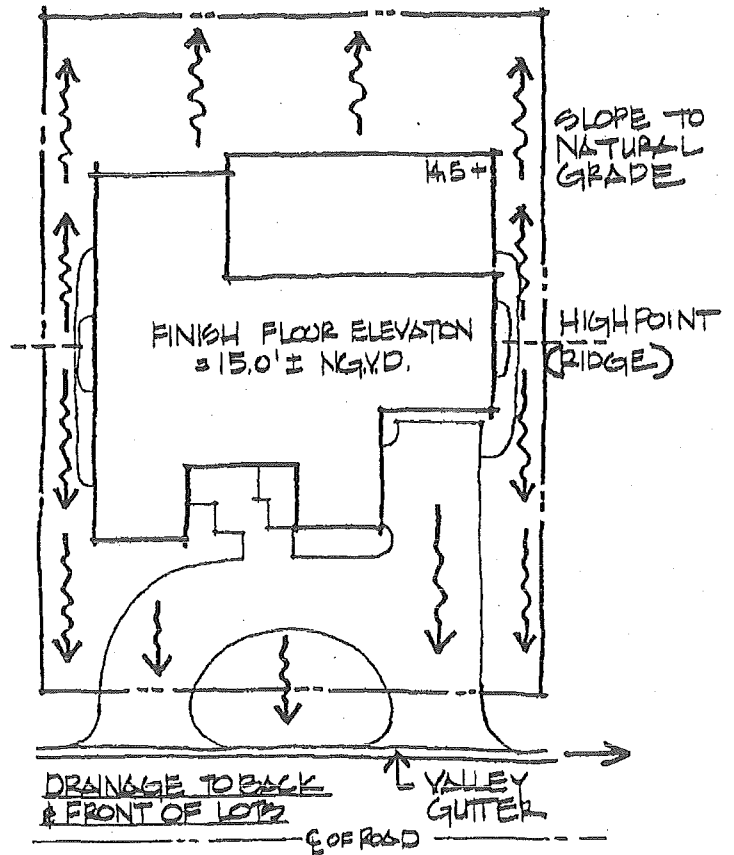
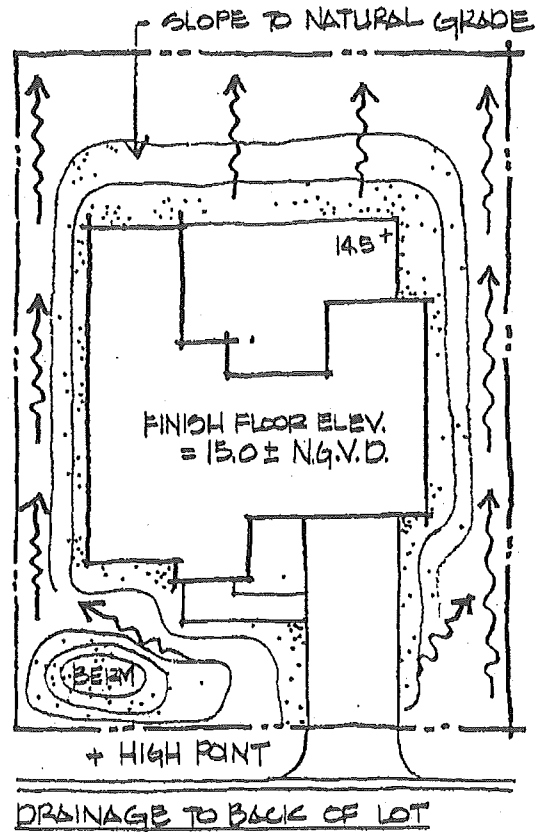
GRADING AND DRAINAGE — Drainage is an important part of the design plan and will be a factor considered by the Design Review Committee.

No drainage from land or structures may flow onto the golf course property, any adjacent commercial property, or other residential property unless approved in writing by the DRC as part of a drainage plan.

Drainage must be controlled to prevent damage or erosion to any property. Grading and drainage (including aesthetic landscape berming) must conform to any approved grading and drainage plans and work in conjunction with overall master planned stormwater systems in Pelican Landing.

Berming must not extend beyond property lines nor interfere with Pelican Landing's established drainage patterns. All transitions must be even and smooth.

Final grading of all planting areas must be rolled, raked and handworked to achieve a smooth, continuous surface.



WALLS, FENCES, HEDGES AND PLANTINGS — All proposed fences and walls require approval by the DRC as part of the Final Plans, and their design must be in keeping with the general exterior appearance of the residence. Neighborhood covenants do not allow walls or fences on property lines and generally discourage the erection of walls and fences. If approved, walls and/or fences must be located far enough off the property line to provide a landscape buffer between the property line and the wall and/or fence, and be limited in height to a maximum of six feet (6').

In addition, WCI may impose more rigid standards, especially where properties adjoin the golf course.

STREETSCAPING — WCI has installed areas of streetscaping consisting of trees and other vegetation. Each owner should verify with the DRC whether future streetscape plans apply to his specific property. Existing or planned streetscaping must be incorporated into the overall design of homesite or parcel landscaping.

LANDSCAPE MAINTENANCE — Each owner is responsible for his property, adjacent rights of way, and areas between the property line of a site and any abutting road or water's edge.

All landscape materials must be maintained in a healthy condition. Fertilization, cultivation, and pruning must be carried out on a regular basis.

Promptly remove and replace dead and dying plants (except that no tree with a diameter of five inches (5") or greater may be removed) after the issuance of the initial certificate of occupancy, without the DRC's approval.

PROHIBITED PLANT SPECIES

Botanical Name	Common Name
<i>Acacia auriculliformis</i>	Earleaf Acacia
<i>Auracaria excelsa</i>	Norfolk Island Pine
<i>Bischofia javanica</i>	Toog Tree
<i>Casuarina species</i>	Australian Pines
<i>Malaleuca species</i>	Punk, Cajeput, Paperbark Trees
<i>Rhodomyrtus tomentosa</i>	Downy Rose Myrtle
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Syzygium cumini</i>	Jambolan Plum

Existing prohibited plants, such as Australian Pines, Downy Rose Myrtle, Melaleuca and Brazilian Peppers, should be removed from homesites or multi-family parcels.

RECOMMENDED LANDSCAPE PALETTE - STREETSCAPE

The following plant materials are highly recommended and should dominate in public areas and/or rights-of-way within Pelican Landing.

BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME
SHADE TREES		SHRUBS (cont.)	
<i>Acer rubrum</i> *	Red Maple	<i>Gardenia jasminoides</i>	Gardenia
<i>Magnolia virginiana</i> *	Sweet Bay	<i>Hamelia patens</i>	Firebush
<i>Quercus laurifolia</i> *	Laurel Oak	<i>Ilex</i> (varieties) *	Holly
<i>Quercus virginiana</i> *	Live Oak	<i>Leucophyllum frutescens</i>	Texas Sage
PINE TREES		<i>Myrsine guianensis</i> *	Rapena
<i>Pinus clausa</i> *	Sand Pine	<i>Myrica cerifera</i> *	Wax Myrtle
<i>Pinus elliottii</i> *	Slash Pine	<i>Nerium oleander</i>	Dwarf Oleander
SMALL-MEDIUM TREES		<i>Penisetum</i>	Fountain Grass
<i>Coccoloba uvifera</i> *	Seagrape	<i>Pittosporum</i> (varieties)	Pittosporum
<i>Conocarpus erectus</i> *	Buttonwood (green)	<i>Plumbago capensis</i>	Plumbago
<i>Conocarpus erecta serica</i> *	Silver Buttonwood	<i>Raphiolepis</i> (varieties)	Hawthorne
<i>Ilex cassine</i> *	Dahoon Holly	<i>Scaveola plumieri</i> *	Inkberry
<i>Ilex vomitoria</i> *	Yaupon Holly	<i>Thryallis glauca</i>	Thryallis
<i>Ligustrum japonica</i>	Ligustrum	<i>Tripsacum dactyloides</i> *	Fakahatchee Grass
<i>Myrica cerifera</i> *	Wax Myrtle	<i>Tripsacum floridana</i>	Dwarf Fakahatchee Grass
<i>Psidium cattlejanum</i>	Cattley Quava	<i>Viburnum suspensum</i>	Sandankwa Viburnum
<i>Tabebuia argentea</i>	Tree of Gold	<i>Yucca elephantipes</i> *	Spineless Viburnum
PALMS		GROUNDCOVERS	
<i>Acoelorrhaphe wrightii</i> *	Parotis Palm	<i>Asperagus sprengeri</i>	Asparagus Fern
<i>Chamaerops humilis</i>	European Fan	<i>Agapanthus africanus</i>	Blue Lily of the Nile
<i>Phoenix roebelinii</i>	Dwarf Date Palm	<i>Gnaphalium chrysanthemoides</i>	African Bush Daisy
<i>Sabal palmetto</i> *	Cabbage Palm	<i>Helianthus debilis</i>	Beach Sunflower
<i>Serenoa repens</i> *	Saw Palmetto	<i>Hemerocallis</i>	Day Lily
SHRUBS		<i>Hymenocallis latifolia</i> *	Spider Lily
<i>Ardisia escallonioides</i> *	Marlberry	<i>Jasminum simplicifolium</i>	Wax Leaf Jasmine
<i>Chrysobalanus icaco</i> *	Coco Plum	<i>Lantana</i> (varieties) *	Lantana
<i>Coccoloba uvifera</i> *	Seagrape	<i>Liriope</i> (varieties)	Liriope
<i>Conocarpus erectus</i> *	Buttonwood (green)	<i>Nephrolepis</i> (varieties)	Ferns
<i>Conocarpus erecta serica</i> *	Silver Buttonwood	<i>Stenotaphrum secundatum</i>	Floratam Sod
<i>Crinum americanum</i>	Swamp Lily	<i>Zamia floridana</i> *	Coontle/Florida Arrowroot
<i>Cycas revoluta</i>	Sago Palm	VINES	
<i>Eugenia</i> (varieties) *	Eugenia	<i>Trachelospermum</i>	Confederate Jasmine
		<i>jasminoides</i>	

(*) asterisk denotes Florida Native Species

LONGLAKE (Units Eight, Ten, Eleven and Twelve Plats)

The Longlake neighborhood includes Pelican Landing Units Eight (VIII), Ten (X), Eleven (XI), and Twelve (XII) Plats. Unit Ten will be the last construction phase for the neighborhood and completes the northern end of the lake.

Design elements for homes in this lakefront neighborhood are expected to evoke a native Florida feeling, with neutral exterior colors, fine quality building materials, and plants selected to blend with the naturally existing environment of palmettos and pine trees.

When preparing plans for landscaping residences in Longlake, except for the few differences and additions listed below, please follow guidelines in the preceding LAKEMONT section.

Planting Designs — are to follow Xeriscape principles emphasizing advantageous use of native plant materials and discouraging the introduction of exotic specimen plants.

Driveways — enriched, decorative surfaces are required, such as interlocking pavers, brick, integrally colored and patterned concrete, or exposed aggregate. Color choices and patterns compatible with the roof and house colors will establish the overall quality of the neighborhood.

Exterior colors — from the mid-value ranges of browns, beiges, taupes and grays are preferred and will be complemented by bronze pool screen enclosures (suggested for all Longlake homes), and required for homes to be built on sites 1, 2, 3, and 4 in Block-C, Unit XI; and sites 3 and 4 in Block-B, Unit XII.

Setbacks

Front Lot Line:

From R.O.W. to front wall 25 feet

Side Lot Lines* - One-story Home:

Block-C, Units VII and X 7 1/2 feet

Block-A and B, Unit X 10 feet

All sites in Units XI and XII 10 feet

Side Lot Lines* - Two-story Home:

Block-C, Units VIII and X 10 feet

Blocks -A and B, Unit X 12 feet

All sites in Units XI and XII 12 feet

*Four-sided corner lots have two front setbacks and two side setbacks.

Rear setbacks vary with positions of lake maintenance easements on homesite abutting or including lake areas. The DRC will verify applicable rear setbacks.

For all sites off-water:

Rear Lot Line to Wall 20 feet

Rear Lot Line to Pool

Screen Enclosure: 10 feet

(but may not encroach upon an easement).

Minimum Floor Area —

1900 square feet

(all sites in Unit VIII; Block-C, Units X and XI; and Block-B, Unit XII)

2500 square feet

(Blocks -A and B, Units X and XI; and Block-A, Unit XII)

For more specific detail, see neighborhood supplements to general covenants.

RECOMMENDED LANDSCAPE PALETTE - PRIVATE AREAS

The following plant materials are highly recommended for use within private areas of individual homesites and multi-family developments. Materials from the Streetscape Palette may also be used.

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
SHADE TREES		SHRUBS (cont.)	
<i>Achras zapota</i>	Sapodilla	<i>Elaeagnus pungens</i>	Silverthorn
<i>Bucida buceras</i>	Black Olive	<i>Hibiscus rosa sinensis</i>	Hibiscus
<i>Magnolia grandiflora*</i>	Southern Magnolia	<i>Ixora</i> (varieties)	Ixora
<i>Swietenia mahogany*</i>	W Indies Mahogany	<i>Ligustrum</i>	Ligustrum
SMALL-MEDIUM TREES		<i>Malpighia coccigera</i>	Singapore Holly
<i>Bauhinia blakeana</i>	Hong Cong Orchid	<i>Marraya paniculata</i>	Wax Myrtle
<i>Callistemon viminalis</i>	Weeping Bottlebrush	<i>Myrsine guianensis*</i>	Pananea
<i>Callophyllum antillanum</i>	Brazilian Beauty Leaf	<i>Nerium oleander</i>	Common Oleander
Citrus (varities)	Citrus	<i>Pandanus veitchiiq</i>	Veitch Screwpine
<i>Clusia rosea*</i>	Pitch Apple	<i>Philodendron selloum</i>	Philodendron
<i>Clusia guttifera</i>	Small Leaf Clusia	<i>Photinia glabra</i>	Red Leaf Photinia
<i>Cordia sebestena*</i>	Geiger Tree	<i>Pittosporum</i> (varieties)	Pittosporum
<i>Cupianiopsis anarcardiodes</i>	Carrotwood	<i>Podocarpus macrophylla</i>	False Yew
<i>Eriobotrya japonica</i>	Loquat	<i>Psychotria undata*</i>	Wild Coffee
<i>Forstiera segregaya</i>	Wild Olive	<i>Rhapis excelsa</i>	Lady Palm
<i>Lagerstroemia indica</i>	Grape Myrtle	<i>Schefflera arbuticola</i>	Dwarf Schefflera
<i>Ligustrum lucidum</i>	Glossy Privet	<i>Strelitzia regina</i>	Bird of Paradise
<i>Pongamia pinnata</i>	Pongam	<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Podocarpus gracilor</i>	Weeping Podocarpus	<i>Viburnum odoratissimum</i>	Sweet Viburnum
PALMS		<i>Westringia Rosmariniformis</i>	Victorian Rosemary
<i>Arecastrum romanzoffianum</i>	Queen Palms	GROUNDCOVERS	
<i>Livistona chinensis</i>	Chinese Fan Palm	<i>Juniperus</i> (varieties)	Juniper
SHRUBS		<i>Ophiopogon japonicus</i>	Mondo Grass/ Dwarf Lily Turf
<i>Allamanda nerifolia</i>	Bush Alamanda	<i>Vinca rosea</i>	Periwinkle
<i>Bougainvillea</i> (varieties)	Bougainvillea	<i>Wedelia trilobata</i>	Wedelia
<i>Buxus microphylla</i>	Japanese Boxwood	<i>Zamia furfuracea</i>	Cardboard Palm
<i>Cortaderia selloanaa</i>	Pampas Grass	VINES	
<i>Crinum asiaticum</i>	Grand Crinum	<i>Allamanda cathartica</i>	Yellow Allamanda
<i>Cycas circinalis</i>	Queen Sago	<i>Bougainvillea spectabilis</i>	Bougainvillea
<i>Dodonea viscosa</i>	Varnish Leaf	<i>Pyracantha coccinea</i>	Firethorn
<i>Draceana</i> (varieties)	Dracaena	<i>Pyrostegia ignea</i>	Flame Vine
		<i>Tecomaria capensis</i>	Cape Honeysuckle

(*) asterisk denotes Florida Native Species

NOTE: Plants not included on Streetscape or Private Area lists will receive individual consideration as they relate to function, location, size and compatibility within Pelican Landing.

FREE LANDSCAPING II

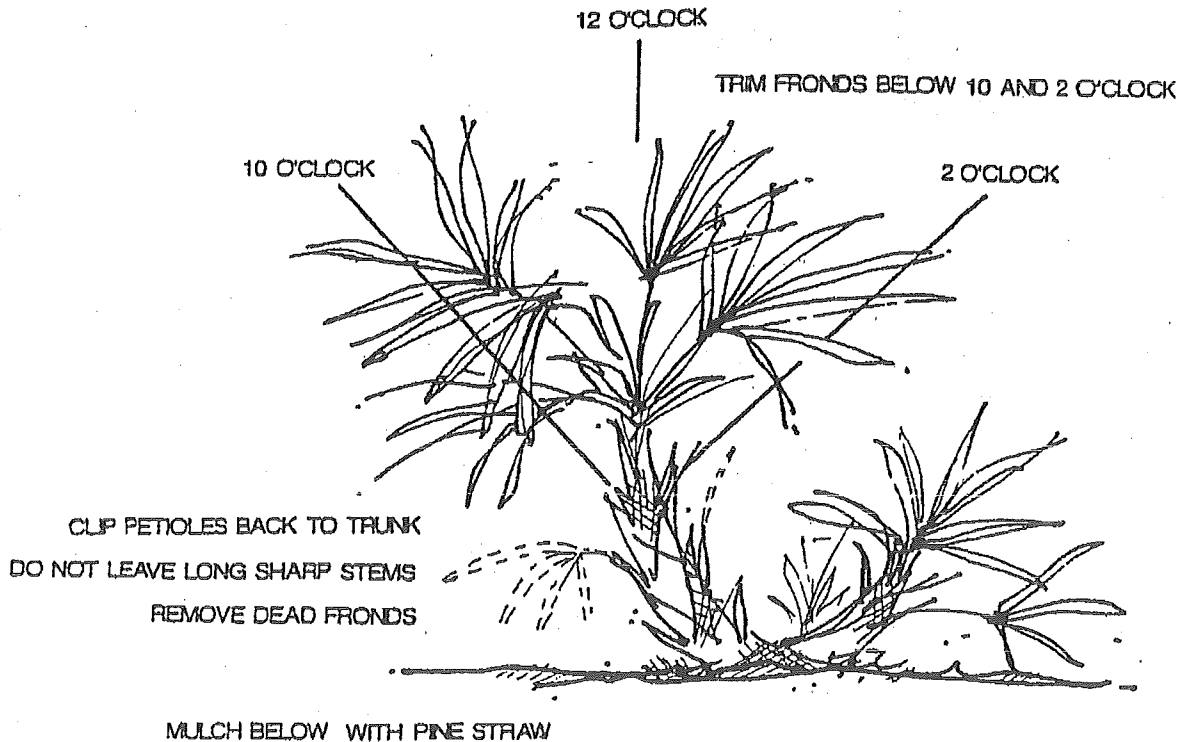
Your landscape can be divided into two categories: the indigenous vegetation that was on your homesite when you built your home, and the planted landscape you added to supplement the native landscape, which consists primarily of palmettos, pines and scrub oaks.

The abundance of native vegetation is one of the things that makes Pelican Landing so attractive (and saves you money in purchased plant materials!) and it is important that everyone cooperate not only to preserve it, but to maintain it properly. The wonderful thing about the native plants is that proper maintenance mostly requires that you just leave it alone!

Save the water and don't irrigate the native vegetation. Irrigation is actually harmful because it promotes the growth of weeds and disrupts the natural PH level of the pine trees. So design your sprinkler system to avoid the areas of natural vegetation.

Palmettos should only be trimmed once or twice a year, and then sparingly. Draw imaginary lines from the trunk of the palmetto at 10 o'clock and 2 o'clock, and do not trim above them. When trimming, clip the petioles (stems) back to the truck of the palmetto, and remove any dead fronds. The full crown of fronds is what makes palmettos appealing, not the sight of snaky brown trunks, so be careful not to over trim! For scrub oaks, just remove the dead branches and a few of the lower branches in order to maintain the character of the tree. Pines only need dead branches removed now and then.

Please forward this information to your landscaper.



OR BK 03272 PG 2146

ATTENTION

ALL LAWN AND LANDSCAPE MAINTENANCE COMPANIES OPERATING WITHIN PELICAN LANDING

Realizing the goal of a quality community depends upon the cooperation of property owners and lawn and landscape maintenance companies to follow Pelican Landing's Design Review Committee's architectural control standards and landscape guidelines. These standards apply to structures and existing landscapes.

These guidelines are intended to promote the establishment of a compatible and continuous landscape throughout Pelican Landing, by using predominantly indigenous coastal south Florida plant material. The planted landscape will enhance rather than compete with the existing environment and wildlife. Xeriscape principles are strongly encouraged throughout the community.

Preserving desirable existing vegetation where possible and revegetating and landscaping with similar plants will help to establish a unique community character. Your assistance in this process is needed.

MODIFICATIONS TO THE LANDSCAPE

Any proposed modification which will be visible to the public or to adjacent properties requires written approval from the Design Review Committee BEFORE such modifications are made. Please submit proposed plans to Pelican Landing for approval.

No trees shall be removed unless approved by the Design Review Committee. However, dead and dying plants shall be promptly removed and replaced.

Palmetto's should be trimmed only to the extent indicated on the attached diagram. Scrub and sand oaks are not to be over trimmed.

The following plants are prohibited plant species that should be removed from the homesites when they are found. This removal should occur in the normal course of routine landscape maintenance.

BOTANICAL NAME

Acacia auriculiformia
Araucaria exelsa
Bischofia javanica
Casuarina species
Malaleuca species

Rhodomyrtus tomentosa
Schinus terebinthifolius
Syzygium cumini

COMMON NAME

Earleaf Acacia
Norfolk Island Pine
Toog Tree
Australian Pines
Punk, Cajeput and
Paperbark Trees
Downy Rose Myrtle
Brazilian Pepper
Jambolan Plum

WORKING IN THE COMMUNITY

Providing professional landscape services to individual homeowners and multi-family parcels is a privilege that requires responsible actions. In addition to the above landscape guidelines, Pelican Landing requires that all landscape maintenance company personnel observe all traffic controls inside the community. The posted speed limits must be observed and vehicles must make complete stops at stop signs. When providing services to individual residences be sure to park landscape vehicles close to the curb or valley gutter and avoid hitting mailboxes and other signage.

PENNYROYAL (Unit One Plat)

The neighborhood of Pennyroyal features estate size homesites fronting the golf course, many also with lake views. Homes in this neighborhood are of varying styles with the predominant characteristic being designs that take the best advantage of the spectacular views. As much of the natural vegetation of these sites should be preserved as possible, particularly in the buffer between the golf course and the homes.

Setbacks

Front Lot Line:

From R.O.W. to front wall 25 feet

One-story Home:

Side lot lines to wall 10 feet

Two-story Home:

Side lot lines to wall 12 feet

Rear Lot Line to Wall:

20 feet

Rear Lot Line to Pool

Screen Enclosure:

15 feet

Building Size

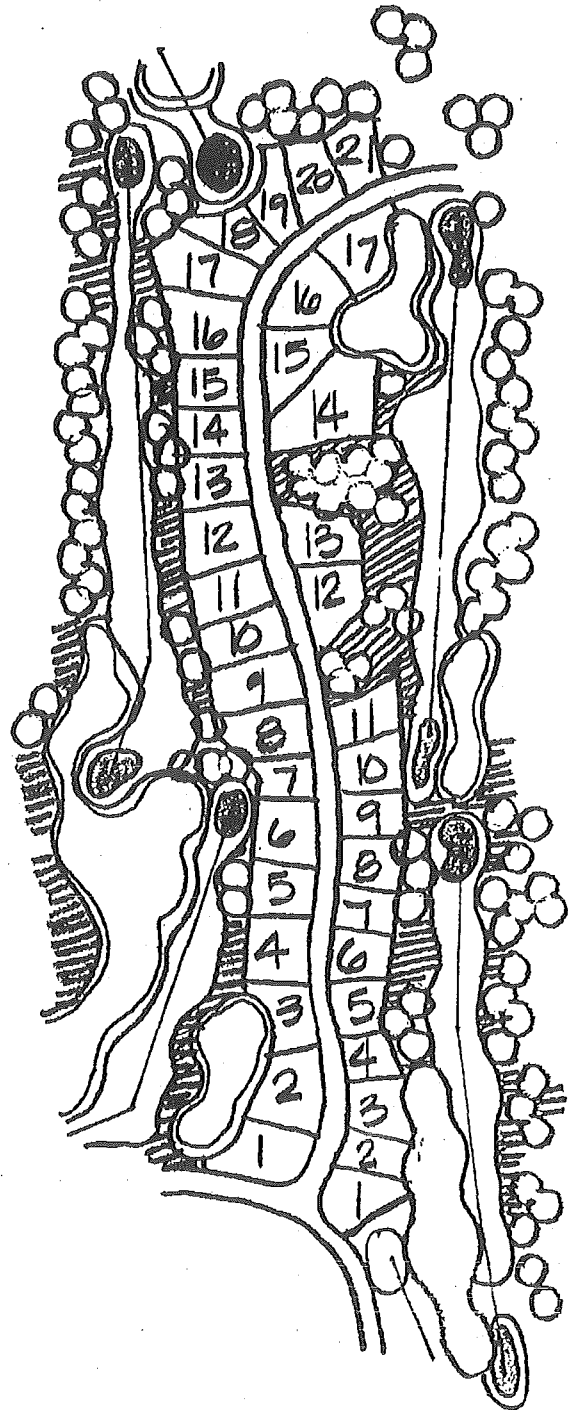
2500 square feet minimum

Building Height

30 feet maximum

Driveways — Enriched, decorative surfaces such as interlocking pavers, brick, colored/patterned concrete, exposed aggregate, etc. are required. The congruent use of these materials will add a feeling of quality and character to this neighborhood.

Garages — All residences must have attached garages with space for a minimum of two (2) cars. Side entry garages are required in the Pennyroyal neighborhood.



GOLDCREST (Unit Two Plat)

The neighborhood of Goldcrest features expanded homesites created to take full advantage of the views of the golf course and complementary lakes. Homes in this neighborhood will incorporate the existing coastal scrub vegetation within the homesite buffer areas and proposed landscaping to provide an exciting natural setting allowing maximum privacy, yet maintaining magnificent views. The winding roadway with a quiet cul-de-sac incorporates a cohesive vegetative thread that ties this neighborhood to its natural beginnings. Estate size homes of varying styles will utilize the most advantageous siting techniques to optimize views and maintain privacy.

Setbacks

- Front Lot Line:
From R.O.W. to front wall 25 feet
- One-story Home:
Side lot lines to wall 10 feet
- Two-story Home:
Side lot lines to wall 12 feet
- Rear Lot Line to Wall: 20 feet
- Rear Lot Line to Pool
Screen Enclosure: 15 feet

Building Size

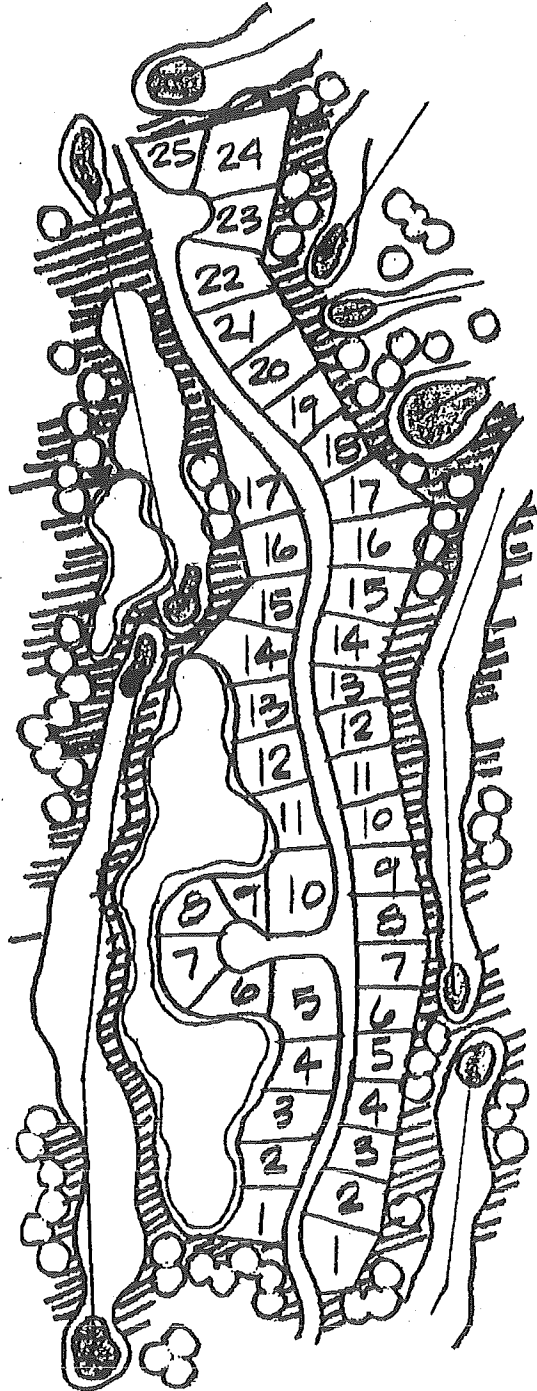
2300 square feet minimum

Building Height

30 feet maximum

Driveways — Enriched, decorative surfaces such as interlocking pavers, brick, colored/patterned concrete, exposed aggregate, etc. are required. The congruent use of these materials will add a feeling of quality and character to this neighborhood.

Garages — All residences must have attached garages with space for a minimum of two (2) cars. Side entry garages are required in the Goldcrest neighborhood.



LAKEMONT (Units Three, Four, and Nine Plats)

Amidst natural surroundings, woods and water, WCI Communities Limited Partnership and our cooperating approved builders are creating a unique and appealing neighborhood in Pelican Landing. Home and landscape designs for Lakemont sites must appear to belong in such a natural setting. The Design Review Committee is particularly interested in having roof pitches, materials, elevations, colors and landscape treatment reflect design variation, yet retain a cohesive character that enhances the wooded, country feeling of Lakemont.

Participating builders should be guided by the following:

Driveway cut — only one per homesite. Locate to fit between choice plant material clusters rather than a pre-determined plan of side-to-side siting.

Driveway surface — soft, neutral colors enriched with materials such as colored/patterned concrete, brick, interlocking pavers etc. are required.

Existing vegetation — maintain as a buffer between homesites and as a setting for the home. Use stemwalls where necessary to eliminate excessive use of fill on the site and to preserve existing vegetation.

New plants — select to complement the existing vegetation designated to be saved on each site. Plant material must be or look, native and natural. (See Recommended Landscape Palette.) Species with asterisks(*) should be especially considered for Lakemont sites. Xeriscape Design principles are encouraged.

Home exterior (elevations) — design in harmony with the following suggestions:

A. Use wood shingles, cement, or clay roof tiles in natural tones of soft taupes, beiges, and warm browns, rather than cool white, pinks, oranges or reds.

B. Combination roof pitches, 6/12 front to back with front projecting gables of 8/12 pitch are recommended to produce a "big house" appearance. Front facade treatments are deemed especially important in Lakemont.

C. A taller plate height, combined with sloping and high flat ceilings, can give dramatic special proportions.

Stucco should be applied in the customary manner, but painted only in earthtones such as, Sherwin-Williams Pebble Tan, Concord Ivory, Sand, Oyster Gray, etc. to blend with the landscape. Aggressive color palettes and whites will not be at home in this community where each residence is intended to complement its surroundings. Choose trim colors in off-tones rather than bright or sharp contrasts; although attention may be called to front doors by using brighter and/or deeper tones. Mid-range values should be chosen rather than very light or very dark selections.

LAKEMONT (cont.)

Setbacks

Front Lot Line:
From R.O.W. to front wall 25 feet

One-story Home:
Side lot lines* to wall 7 1/2 feet

Two-story Home:
Side lot lines* to wall 10 feet

*Four-sided corner lots have two front 25 feet setbacks and two side setbacks of 7 1/2 feet (one story) or 10 feet (two story).

Rear Lot Line to Wall: 20 feet

Rear Lot Line to Pool Screen Enclosure: 10 feet

Building Size

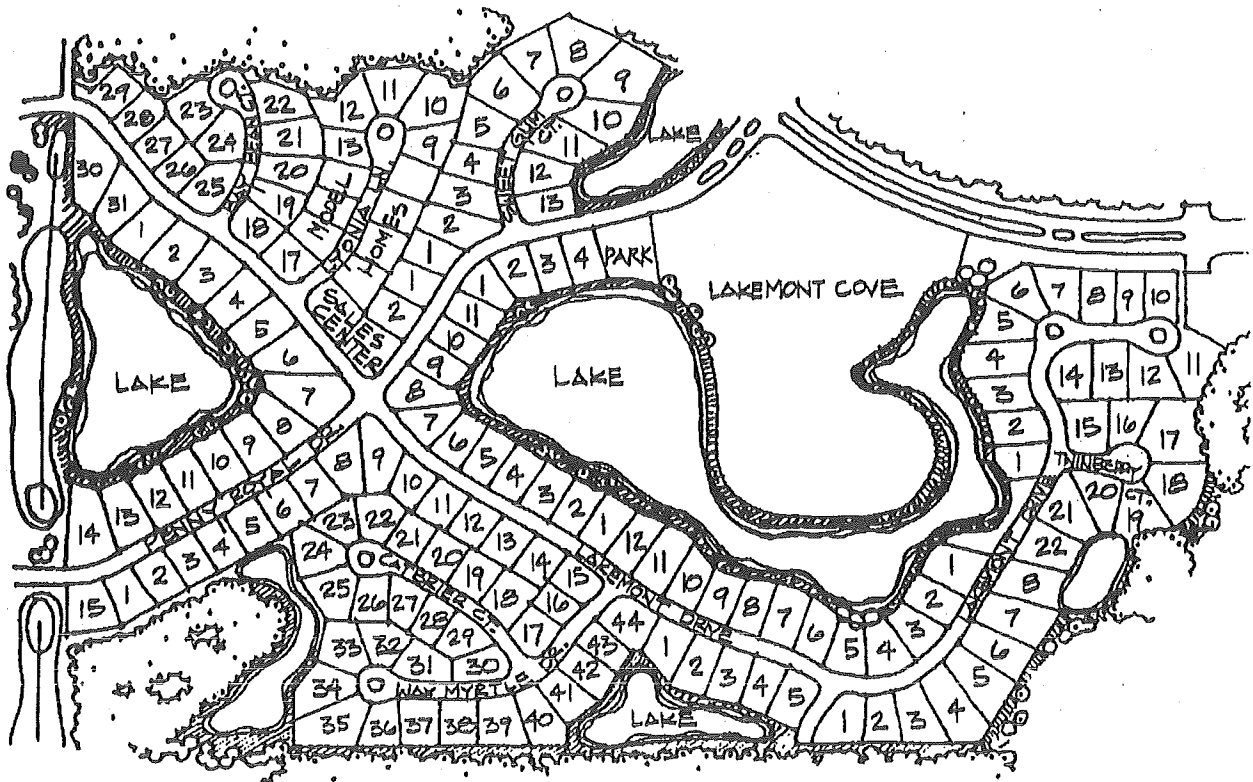
1900 square feet minimum

Building Height

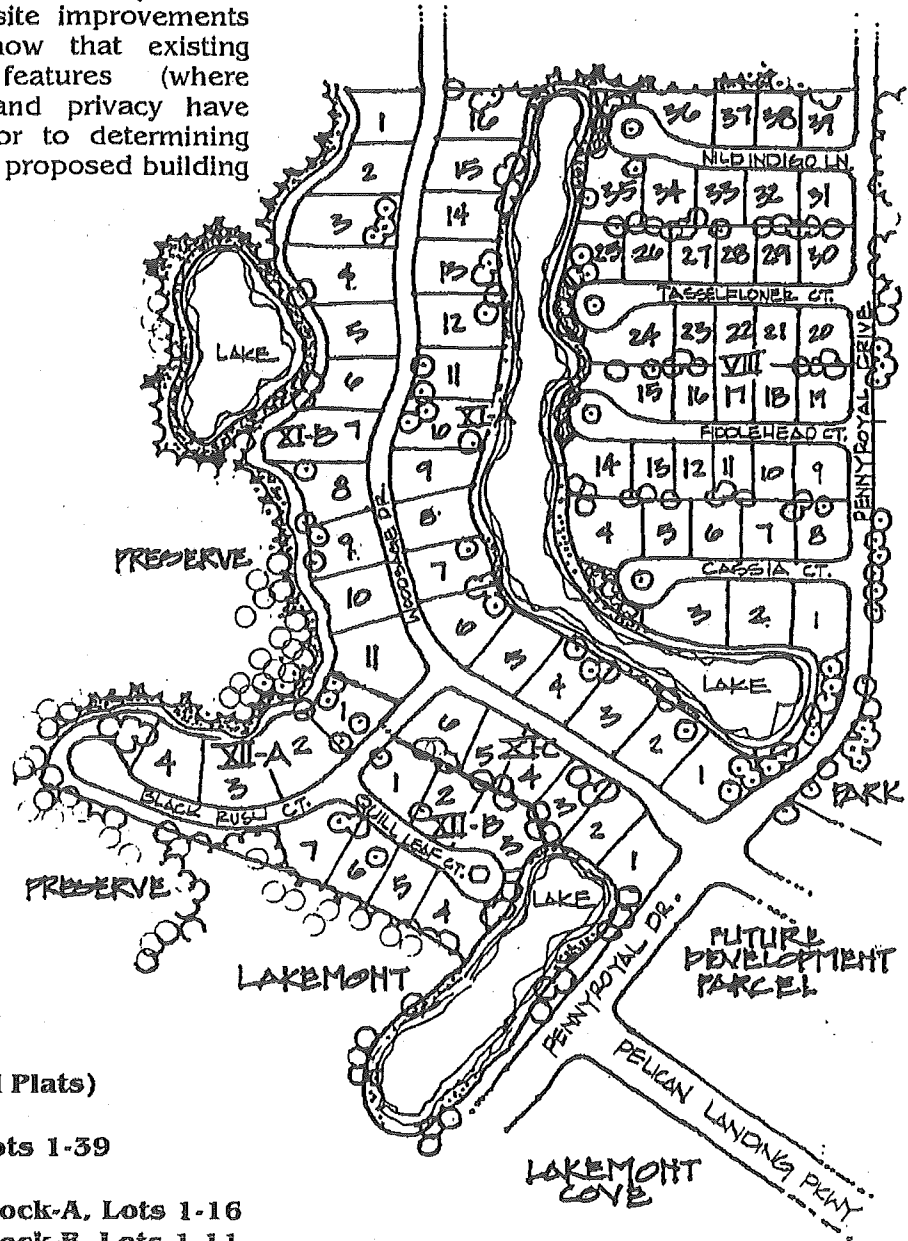
30 feet maximum

The Lakemont community character will be complemented by homes which maintain equilibrium with their environment, yet express individuality within the overall subdued palette of materials and colors.

Using consistent design and finish, the few builders invited to participate in Lakemont should be able to help produce a beautifully unique and desirable community.



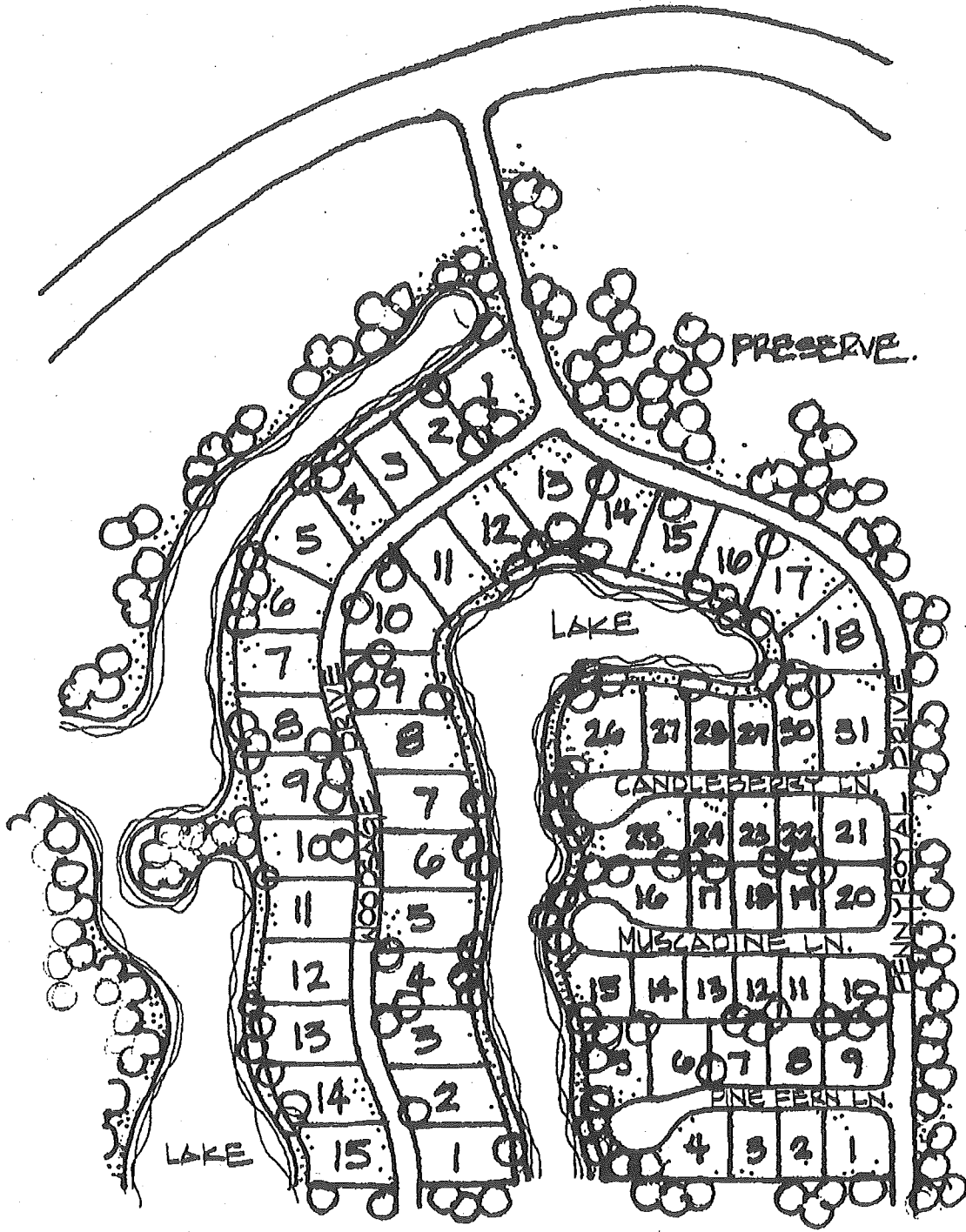
Design Focus — for the Longlake neighborhood is the lake and preserve areas. Plans for all site improvements are expected to show that existing vegetation, lake features (where applicable), views, and privacy have been considered prior to determining plant placements and proposed building orientations.



LONGLAKE

Phase One (Units VIII, XI and XII Plats)

- Unit VIII** Lots 1-39
- Unit XI** Block-A, Lots 1-16
Block-B, Lots 1-11
Block-C, Lots 1-6
- Unit XII** Block-A, Lots 1-4
Block-B, Lots 1-7



LONGLAKE

Phase Two
(Unit X Plat)

- Block-A, Lots 1-18
- Block-B, Lots 1-15
- Block-C, Lots 1-31

BAY CREEK (Unit Sixteen Plat)

An elegant neighborhood of estate homesites along a brick paved street, unfolds beyond Bay Creek's private entry gate. Exquisite, quiet, wooded settings abut either lake or preserve areas through which Spring Creek meanders towards the bay.

A unified streetscape plan accents existing vegetation with colorful plantings and adds special pavement and light fixtures to evoke memories of nineteenth century estate homes. The spectacular views unique to each homesite will be preserved by custom designed homes to maximize the extraordinary natural beauty. Landscape plans for individual homesites should incorporate the established streetscape plan and create generous landscape frames for each residence.

Setbacks (refer to recorded covenants for specific setback requirements) vary but are generally:

Front Lot Line:

From R.O.W. to front wall 25 feet

Side Lot Line to wall: 15 feet

Rear Lot Line to Wall: vary, depending upon positions of easements on each homesite; subject to verification by the Design Review Committee:

Lake Sites: 25 feet
(minimum, lot line to wall)

Sites Abutting Wetlands: 25 feet
(minimum, but may not encroach upon any easement or buffer area)

Screen enclosure setbacks must be verified by the Design Review Committee.

Building Size

3000 square feet minimum

Building Height

35 feet maximum

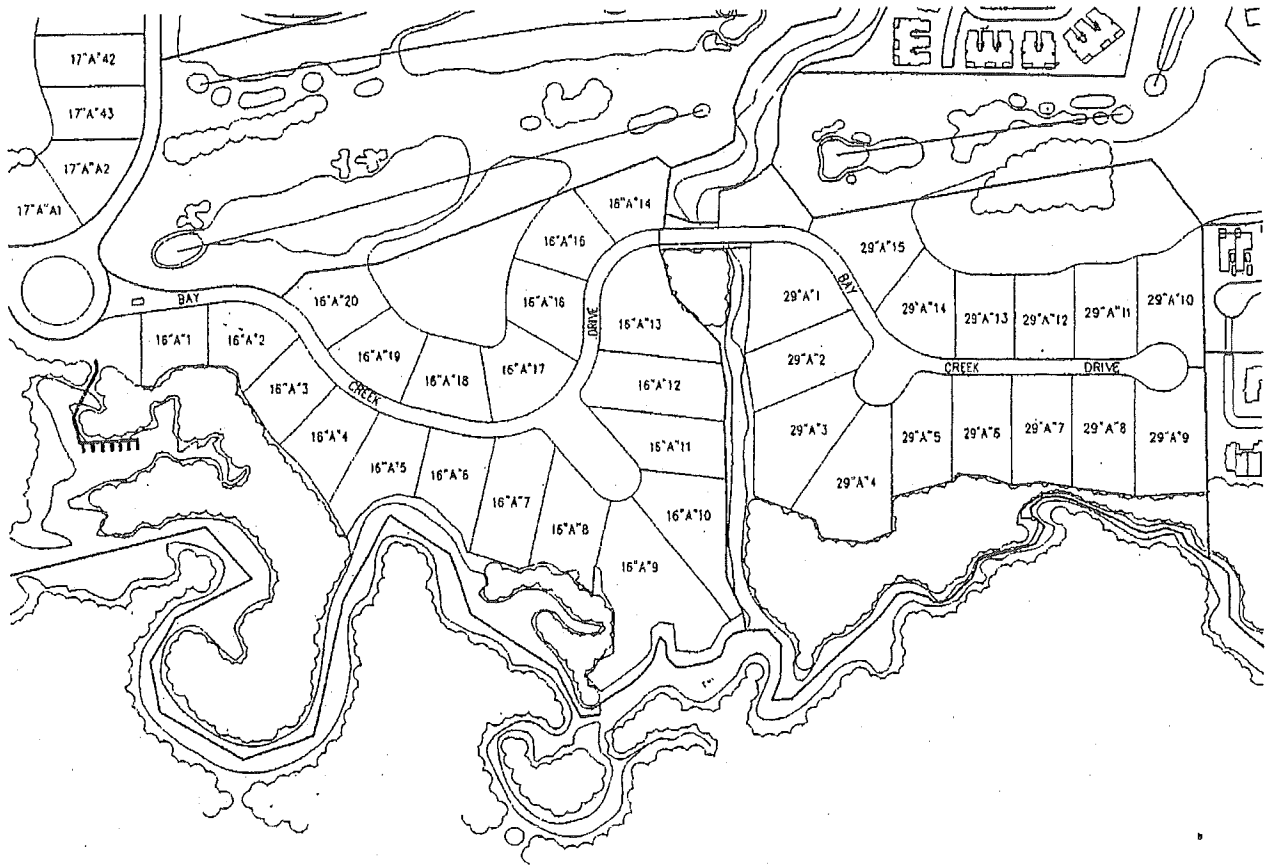
Driveways — may consist only of brick paver materials of neutral colors that are congruent with the existing paved street.

Exterior Colors — from the mid-value ranges of browns, beiges, taupes and grays are preferred and will be complemented by bronze pool screen enclosures which are required for all Bay Creek residences. Bronze structures blend into landscaping and preserve the natural ambiance of Bay Creek.

Buffer Areas — To protect adjacent wetlands, an upland buffer between the creek and the buildable area of the homesites has been established on Sites 1 through 14. This buffer must be retained in its natural state. For more specific detail, see neighborhood supplements to general covenants.

BAY CREEK (The extension of Bay Creek Drive created fifteen additional homesites, platted as Pelican Landing Unit Twenty-nine.)

The map shows homesites along the entire length of Bay Creek Drive as extended. For the 15 homesites in Unit Twenty-nine, use the same design criteria on page 28 for Bay Creek (Unit Sixteen Plat). The paragraph about **buffer areas** applies to sites 1 through 9 of Unit 29.



THE RIDGE (Unit Seventeen Plat)

Within some of the finest native upland pinewood areas in southwest Florida, The Ridge's estate homesites are nestled adjacent to the Pelican's Nest golf course and preserve areas. Special nature preserves and landscape buffers have been established as protected habitats. For specific preserve area information, see the neighborhood covenants for The Ridge, Pelican Landing Unit Seventeen.

The natural beauty of these homesites suggests architectural design that inserts a home unobtrusively onto the site and encourages sensitive selection of landscape plants to supplement existing trees and shrubs.

Planting Designs — are to follow Xeriscape principles emphasizing advantageous use of native plant materials and discouraging the introduction of exotic specimen plants.

Driveways — enriched, decorative surfaces are required, such as interlocking pavers, brick, integrally colored and patterned concrete or exposed aggregate. Color choices and patterns congruent with the roof and house colors will establish the overall quality of the neighborhood.

Exterior Colors — mid-value ranges of browns, beiges, taupes and grays are preferred and will be complemented by bronze pool screen enclosures which are required for all residences of The Ridge. Bronze structures blend into landscaping and minimize visibility from the golf course.

Setbacks

Front Lot Line:

From R.O.W. to front wall 25 feet

Side Lot Lines*

One-story Home: 10 feet

Side Lot Lines*

Two-story Home: 12 feet

*Four-sided corner lots have two front setbacks and two side setbacks.

Rear setbacks vary with positions of lake maintenance easements on homesite abutting or including lake areas. The DRC will verify applicable rear setbacks.

For all sites off-water:

Rear Lot Line to House 20 feet

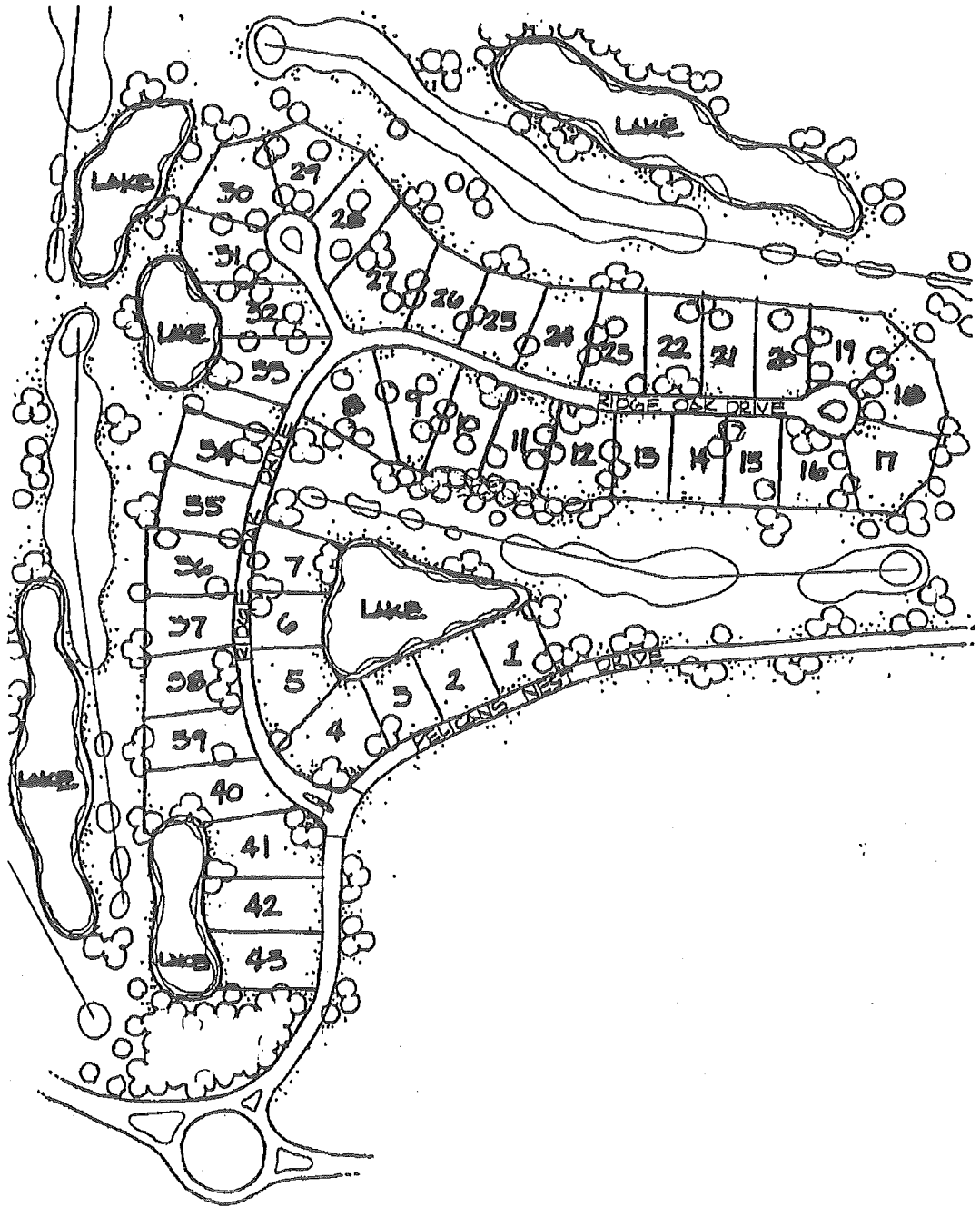
Rear Lot Line to Pool

Screen Enclosure 15 feet
(but may not encroach upon an easement)

Minimum Floor Area

2500 square feet

For more specific detail, see neighborhood supplements to general covenants.



THE RIDGE

HERON POINT (Unit Nineteen Plat)

The Heron Point neighborhood consists of 23 estate size homesites. Design elements for homes in this neighborhood are expected to evoke a native Florida feeling, with neutral exterior colors, fine quality building materials and plants selected to blend with the naturally existing environments of palmettos and pine trees.

When preparing landscape plans for residences in Heron Point, except for the few differences and additions listed below, please follow the guidelines in the preceding LAKEMONT section.

OWNERS of Lots 1 through 12 that include a thirty-five foot (35') berm easement, shall conform their landscape and irrigation plan for the thirty foot (30') portion of the berm easement on their LOT to the top of the berm to DECLARANT's Pelican Colony Boulevard Streetscape Plan, including approved plant list. In addition, OWNERS shall install and maintain the landscaping and irrigation system in the thirty foot (30') portion of the berm easement on their LOT to the top of the berm and the Bayside Improvement Community Development District shall install and maintain the landscaping and irrigation system in the five foot (5') portion of the berm easement that runs along the road right-of-way.

No structure shall be erected within this thirty-five foot (35') berm easement, nor shall the berm be altered in any way.

Planting Designs — are to follow Zeriscape principles emphasizing advantageous use of native plant materials and discouraging the introduction of exotic specimen plants.

Driveways — enriched decorative surfaces are required, such as interlocking pavers, brick, integrally colored and patterned concrete, or exposed aggregate. Color choices and patterns compatible with the roof and house color will establish the overall quality of the neighborhood.

Exterior Colors — from the mid-value ranges of browns, beiges, taupes and grays are preferred and will be complemented by bronze pool screen enclosures (suggested for homesites 13 through 23), and required for homes to be built on sites 1 through 12.

Setbacks (minimum)

Front Lot Line:

From R.O.W. to front wall 25 feet

Side Lot Lines*

One-story Home: 10 feet

Side Lot Lines*

Two-story Home: 12 feet

*Four-sided corner lots have two front setbacks and two side setbacks.

Rear Lot Line-Lots 1 - 11:

To Wall 45 feet

To Pool Enclosure 40 feet*

Rear Lot Line-Lot 12:

To Wall 25 feet

To Wall adjacent to R.O.W. 45 feet

To Pool Enclosure 20 feet*

To Pool Enclosure adjacent to R.O.W. 40 feet*

Rear Lot Line-Lots 13 - 23:

To Wall 25 feet

To Pool Enclosure 20 feet*

*As long as no easement is encroached upon.

HERON POINT (cont.)

Building Size

2500 square feet minimum

For more specific details, see neighborhood supplement to general covenants.

Design Focus — for this neighborhood is the lake and preserve areas. Plans for all site improvements are expected to show that existing vegetation, lake features (where applicable), views, and privacy have been considered prior to determining proposed building orientations and plant placements.



WATERSIDE (Unit Twenty-two Plat)

The Waterside neighborhood consists of lake front estate size homesites. Design elements for homes in this neighborhood are expected to evoke a native Florida feeling, with neutral exterior colors, fine quality building materials and plants selected to blend with the naturally existing environment of palmettos and pine trees.

When preparing landscape plans for residences in Waterside, please follow the guidelines in the preceding LAKEMONT section.

OWNERS of Lots 23, 24, and 46 that include a forty foot (40') berm easement, shall conform their landscape and irrigation plan for the portion of the berm easement on their LOT to the top of the berm to DECLARANT's Pelican Colony Boulevard Streetscape Plan, including approved plant list. In addition, OWNERS shall install and maintain the landscaping and irrigation system in the portion of the berm easement on their LOT to the top of the berm and the Bayside Improvement Community Development District shall install and maintain the landscaping and irrigation system in the remaining portion of the berm easement that runs along the road right-of-way.

No structure shall be erected within this forty foot (40') berm easement, nor shall the berm be altered in any way.

Planting Designs — are to follow Xeriscape principles emphasizing advantageous use of native plant materials, Oaks, Sabal Palms and Pines, and discouraging the introduction of exotic specimen plants.

Driveways — enriched decorative surfaces are required, such as interlocking pavers, brick, integrally colored and patterned concrete, or exposed aggregate. Color choices and

patterns compatible with the roof and house color will establish the overall quality of the neighborhood.

Exterior Colors — from the mid-value ranges of browns, beiges, taupes and grays are preferred and will be complemented by bronze pool screen enclosures (suggested for all homesites, and required for homes to be built on sites 23, 24 and 46).

Setbacks (minimum)

Front Lot Line:
From R.O.W. to front wall 25 feet

Side Lot Lines*
One-story Home: 10 feet*
Two-story Home: 12 feet*

* Except lots 23, 24 and 46 where setback is forty feet (40') from Pelican Colony Boulevard.

Rear Lot Line:
To Wall 25 feet
To Pool Enclosure 20 feet*

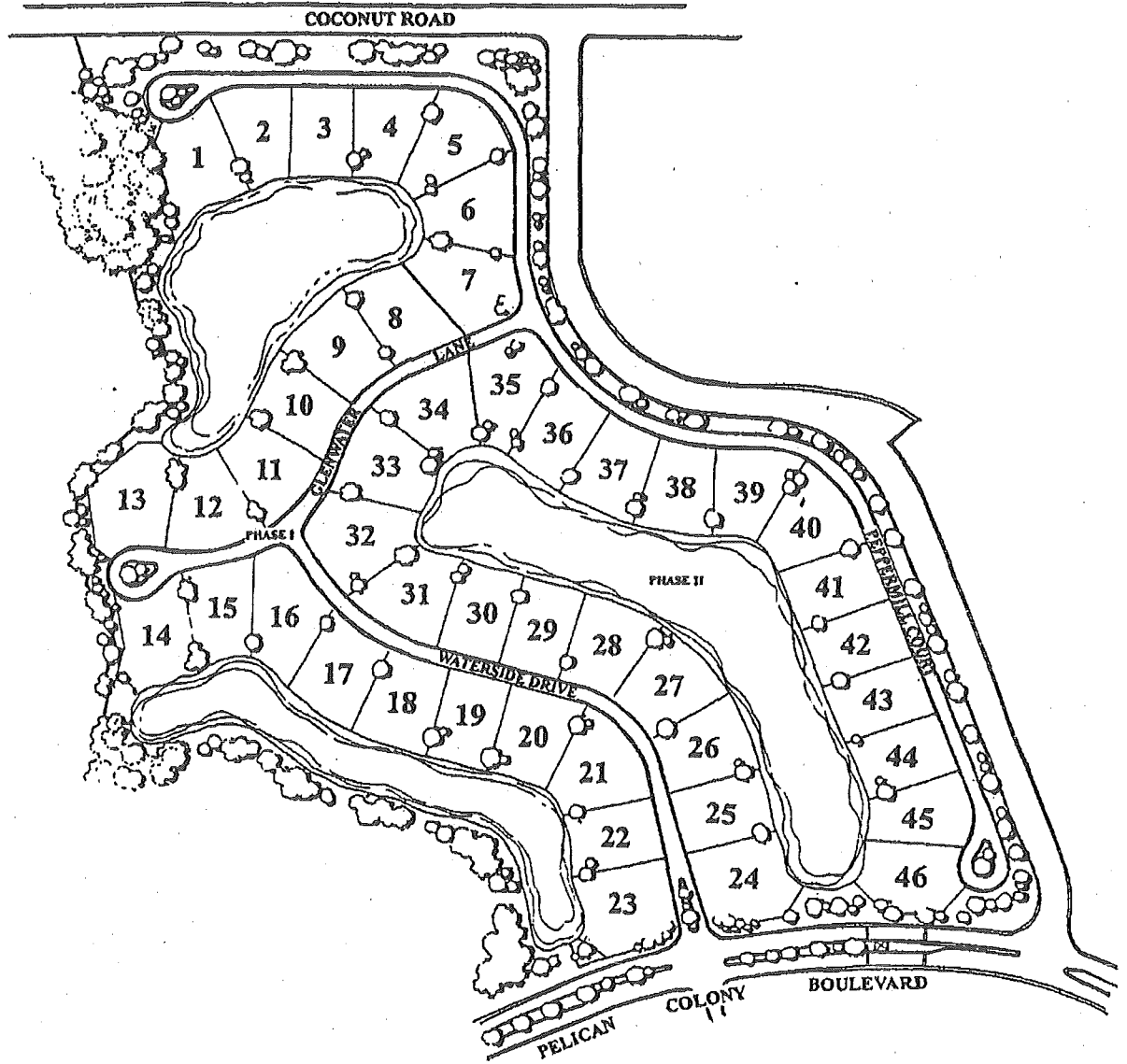
*As long as no easement is encroached upon.

Building Size

2500 square feet minimum

For more specific details, see the neighborhood supplement to general covenants.

Design Focus — for this neighborhood is the lake and preserve areas. Existing vegetation, lake features (where applicable), lake views, and privacy should be considered prior to planning for proposed building orientation, plant placement and site improvements.



WATERSIDE

The Colony at Pelican Landing

Messina Court – Pelican Landing Unit Twenty-five (homesites 1—6)

Setbacks (minimum), providing structure (including roof overhang) does not encroach into platted utility or drainage easements:
30 feet from front lot line to structure; front yards abut Messina Court.
15 feet from side lot lines to structure of either a one or a two-story home
25 feet from rear lot line to primary structure; rear yards abut the lake.
20 feet from rear lot line to accessory structure; this will be approximately the lake control elevation.

Minimum square footage of living area – 3,500 square feet.

Maximum building height – thirty-five feet (35'), defined as the vertical distance measured from the finished grade of the lot or minimum base flood elevation, whichever is greater, to the mean high level between eaves and ridge of gable, hip and gambrel roofs.

Roofs – 6:12 pitch minimum for major roof form, unless owner receives written approval otherwise from WCI.

Garages – to accommodate at least two automobiles; garage doors must be equipped with functioning automatic door operators; side or courtyard entry garages preferred; and views to garage doors to be buffered by landscaping.

Driveways – must have at least a five-foot wide landscape buffer between side lot line and driveway pavement.

Pool and patio screen enclosures – must be architecturally integrated with the dwelling unit, and use compatible structural members. For screening, use bronze colored frame and dark screen mesh.

Review and approval by WCI – is required for all plans pertinent to new construction or additions – including:

Exterior materials and colors – No asphalt, plain concrete or gravel driveways, but we suggest duplicating Messina Court pavers.

Landscape Planting Plans – prepared by a qualified landscape architect, and utilizing the recommended plant palettes in this booklet.

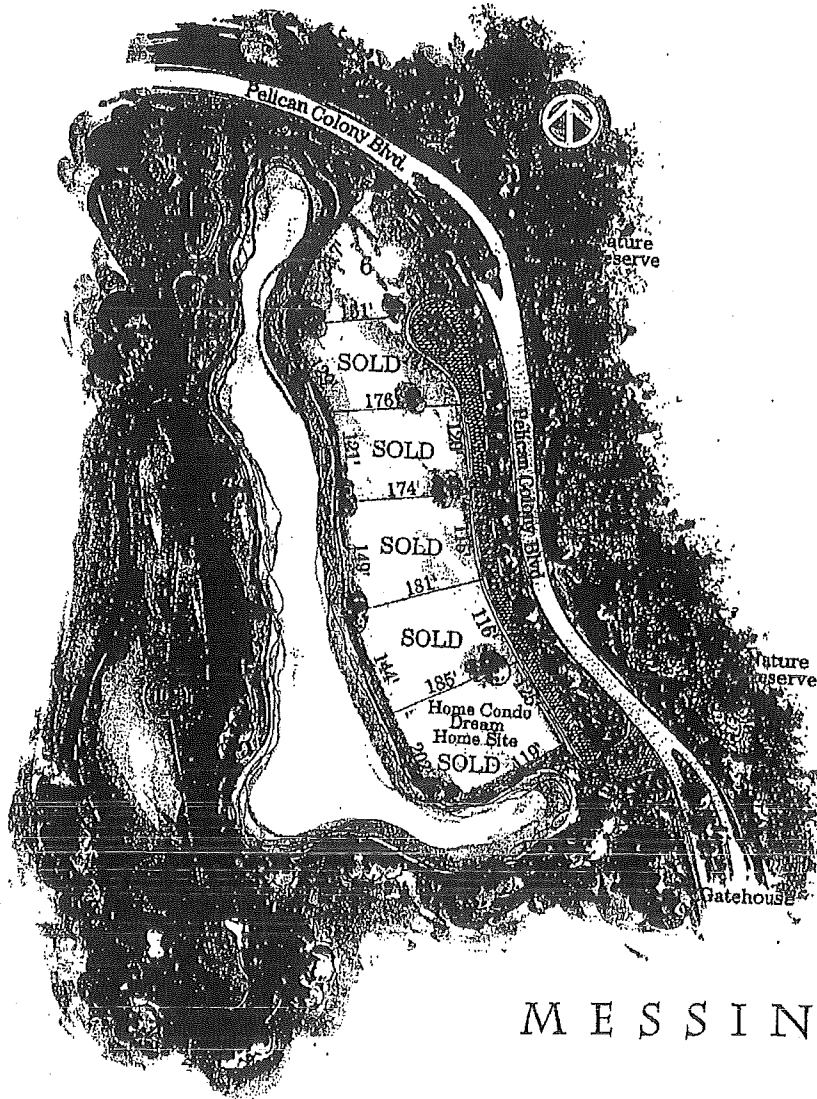
Construction plans – need to be reviewed, stamped and signed approved by WCI, before builders submit to Lee County for building permit; otherwise County review may be delayed.

Walls and/or fences - Only low walls, required to screen pool equipment, air-conditioning, or trash containers, may be located within the building setbacks. Chain link fencing is not acceptable.

Privacy gates - may not be constructed or installed on any lot.

Prior to commencing construction, the builder must install Envirofencing - as a protective barrier. Place envirofencing along property boundaries and around any existing vegetation to be retained. This defines lot lines, protects vegetation on adjoining sites, and helps keep silt and construction debris out of the lake.

Mailboxes - are a uniform design selected by WCI. Builder must notify the WCI administrator of design review in time for WCI to order mailbox installation prior to resident's move-in date.



M E S S I N A

Tuscany Isle – Pelican Landing Unit Twenty-seven, homesites one through forty-three

Setbacks (minimum), providing structure (including roof overhang) does not encroach into platted utility or drainage easements:

25 feet from front lot line to structure

15 feet from side lot lines to structure of either a one or a two-story home

25 feet from rear lot line to primary structure where lot abuts lake, and

20 feet from rear lot line to accessory structure on lakefront homesites that have a 20 foot lake maintenance easement inside and parallel to the rear lot lines.

Homesites that do not abut a lake may utilize 15 feet setback from rear lot line to primary structure, and 10 feet to accessory structure.

Minimum square footage of living area – 3,500 square feet.

Maximum building height – thirty-five feet (35'), defined as the vertical distance measured from the finished grade of the lot or minimum base flood elevation, whichever is greater, to the mean high level between eaves and ridge of gable, hip and gambrel roofs.

Roofs – 6:12 pitch minimum for major roof form, unless owner receives written approval otherwise from WCI.

Garages – to accommodate at least two automobiles; garage doors must be equipped with functioning automatic door operators; side or courtyard entry garages preferred; and views to garage doors to be buffered by landscaping.

Driveways – provide at least a five-foot wide landscape buffer between side lot line and driveway pavement.

Pool and patio screen enclosures – must be architecturally integrated with the dwelling unit, and use compatible structural members. For screening, use bronze colored frame and dark screen mesh.

Walls and/or fences – Only low walls, required to screen pool equipment air-conditioning, or trash containers, may be located within the building setbacks. Chain link fencing is not acceptable.

Privacy gates – may not be constructed or installed on any lot unless owner obtains written approval from WCI.

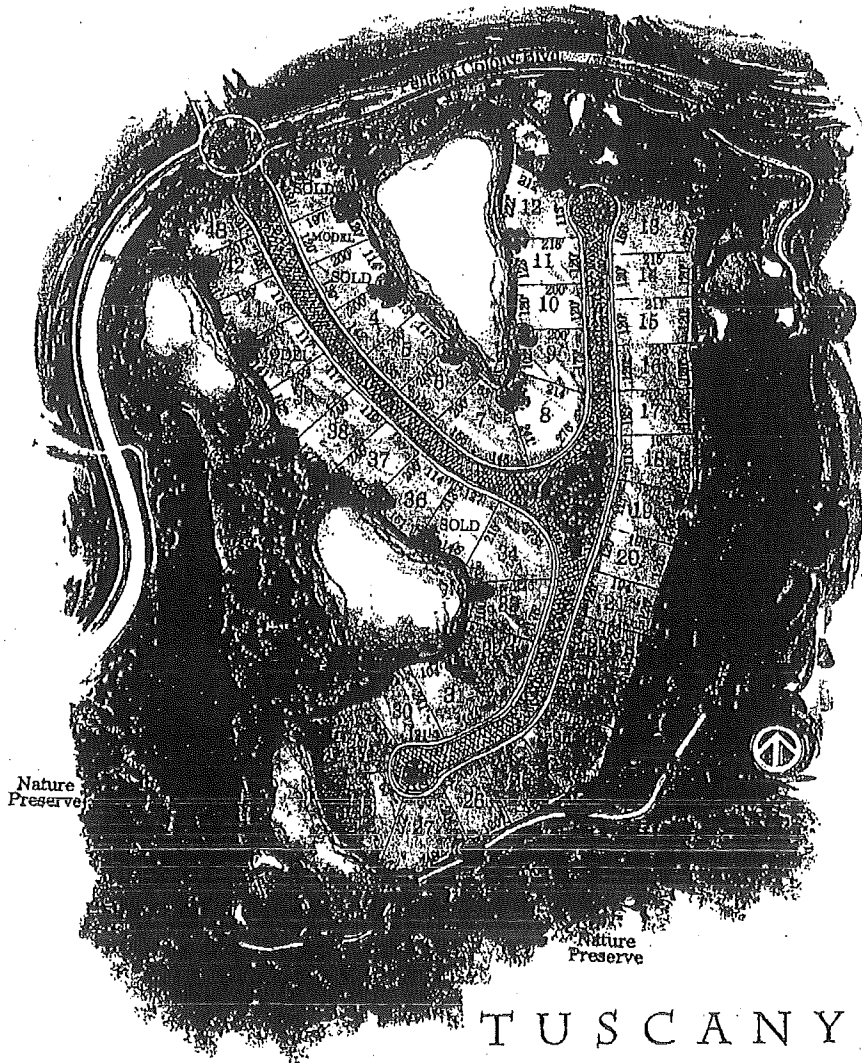
Review and approval by WCI – is required for all plans pertinent to new construction or additions – including:

Exterior materials and colors -- Asphalt, plain concrete or gravel driveways are not acceptable.

Landscape Planting Plans –prepared by a qualified landscape architect, and utilizing the recommended plant palettes in this booklet.

Construction plans – need to be reviewed, stamped and signed approved by WCI, before builders submit to Lee County for building permit; otherwise County review may be delayed.

- Prior to commencing construction, the builder must install Envirofencing – as a protective barrier.** Place envirofencing along property boundaries and around any existing vegetation to be retained. This defines lot lines, protects vegetation on adjoining sites, and helps keep silt and construction debris out of lakes.
- Before clearing the building area for construction – builder must stake lot corners, house and pool deck corners, and schedule an on-site review by WCI.** This field review is necessary to agree upon the amount of existing vegetation to be retained on the homesite.
- Mailboxes –** are a uniform design selected by WCI. Builder must notify the WCI administrator of design review in time for WCI to order mailbox installation prior to resident's move-in date.



TUSCANY ISLE

Bellagio – Pelican Landing Unit Twenty-six Plat (homesites 1–26)

Setbacks (minimum), providing structure (including roof overhang) does not encroach into platted utility or drainage easements:

15 feet from front lot line to structure if garage faces side of lot.

20 feet from front lot line to structure if garage faces front.

5 feet from side lot lines to structure of either a one or two-story home.*

*Exceptions: lot 1 is 10 feet on the south side of the lot. Also, because of platted easements, homes to be designed for lots 1, 5, 6, 9, 10, 11, 12, 15, 16, 19, 20, 24 and 25 will need side setbacks wide enough to avoid the utility and drainage easements.

20 feet from rear lot line to primary or accessory structure; where rear yards abut lake, homesites 14–26.

15 feet from rear lot line to primary structure on non-lake sites 1–13.

5 feet from rear lot line to accessory structure on non-lake sites 1–13.

Minimum square footage of living area – 3,000 square feet

Maximum building height – forty-seven feet (47'), defined as the vertical distance measured from the finished grade of the lot or minimum base flood elevation, whichever is greater, to the mean high level between eaves and ridge of gable, hip and gambrel roofs.

Screen Enclosures – shall be of bronze colored frame and screening.

Walls and/or fences – require specific review and approval by WCI. Do not specify chain link fencing.

Privacy gates – may not be constructed or installed on any lot unless owner obtains written approval from WCI.

Review and approval by WCI – is required for all plans pertinent to new construction or additions – including:

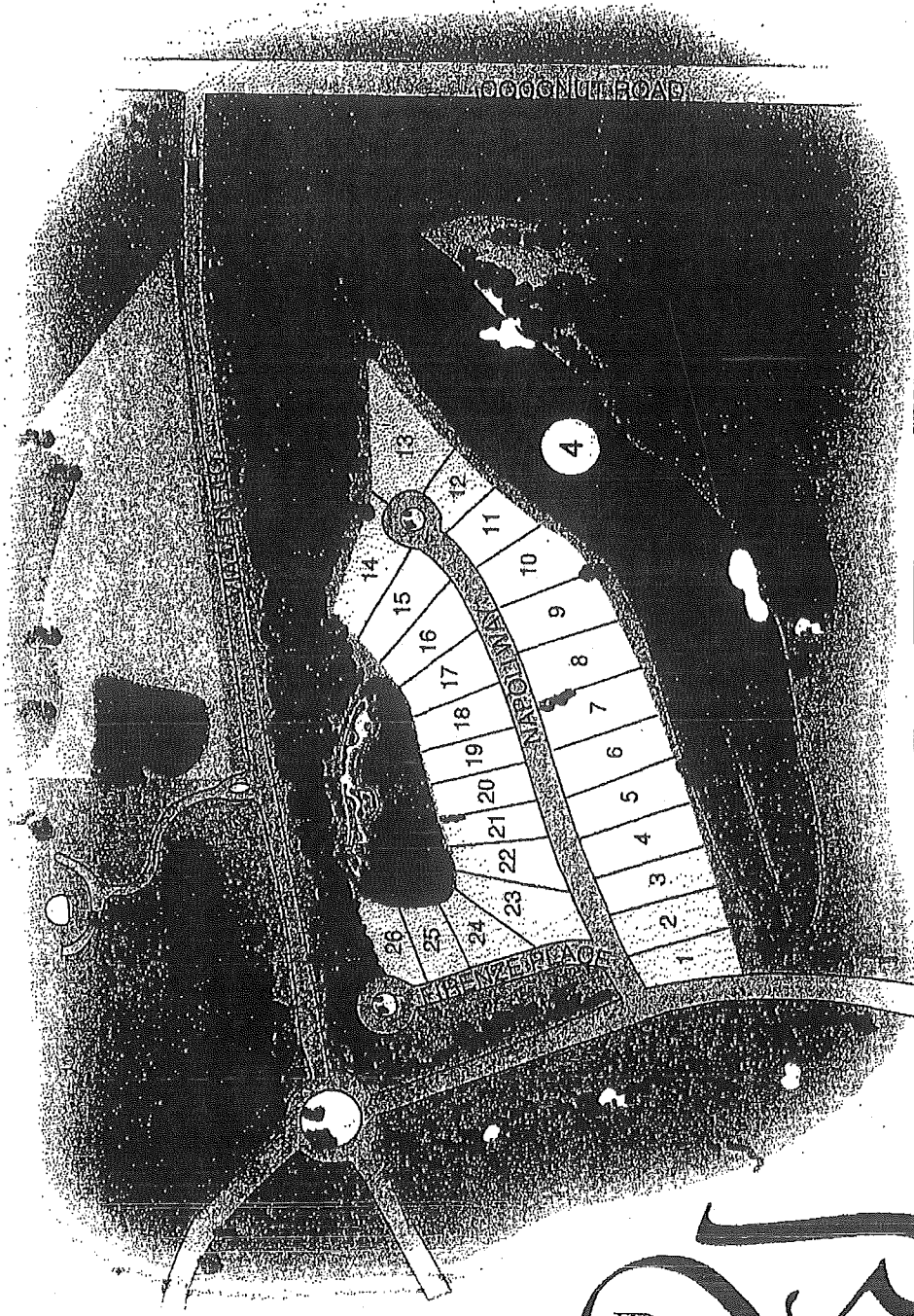
Exterior materials and colors -- Asphalt, plain concrete or gravel driveways are not acceptable.

Landscape Planting Plans –prepared by a qualified landscape architect, and utilizing the recommended plant palettes in this booklet.

Construction plans – need to be reviewed, stamped and signed approved by WCI, before builders submit to Lee County for building permit; otherwise County review may be delayed.

Envirofencing—as a protective barrier must be installed by the builder prior to commencing construction. Place envirofencing along property boundaries and around any existing vegetation to be retained. This defines lot lines, protects vegetation on adjoining sites, and helps keep silt and construction debris out of lakes.

Before clearing the building area for construction – builder must stake lot corners, house and pool deck corners, and schedule an on-site review by WCI. This field review is necessary to agree upon the amount of existing vegetation to be retained on the homesite.



MULTI-FAMILY DESIGN

OBJECTIVES AND STANDARDS

RELATIONSHIP TO NATURAL ENVIRONMENT

The developer should strive to prevent the unnecessary destruction of the natural landscape. Where possible, minimal disruption of natural topography and change in rate or direction of stormwater runoff is encouraged.

RELATIONSHIP OF STRUCTURES AND OPEN SPACE

The developer should assure that the treatment of built-up space and open space is designed so that they relate harmoniously to the surrounding areas and to the existing buildings that have a visual relationship to the proposed development.

Where possible, parking should be located adjacent to buildings in parking courts in order to minimize the visual impact of automobiles on the neighborhood experience.

PROTECTION OF NEIGHBORING PROPERTIES

The developer should strive to be responsive to neighboring property owners concerns regarding surface water drainage, sound, sight barriers, preservation of views, access, light and air and other aspects of design that have substantial effects on adjacent and nearby property owners. During construction the developer should insure that nearby residents are not unreasonably disrupted.

ENTRANCES AND STREETS

At the primary vehicular entry of each parcel the developer should create an identity feature using walls, columns, fencing and landscaping. As part of the entry feature, a project identity sign may be situated within the parcel and may be located in the median or on both sides of the entry. Lakes, ponds and fountains should be located to maximize visual orientation and premiums. Ideally these features should be visible from entry drives.

The streetside area abutting the pavement up to the property perimeter typically is maintained by the District. The master developer's intention is to maintain a sense of continuity through the use of repetitive hardscape features and signature vegetation along the right-of-way adjacent to the parcels.

PEDESTRIAN AND VEHICULAR CIRCULATION

Proposed facilities should include appropriate pedestrian access, servicing and parking for all users including, where applicable, the handicapped, the very young and the elderly. The facilities should provide a network of interconnecting pedestrian sidewalks and pathways that lead to and from community streets and recreational amenity areas. These pathways are intended to be utilized by walkers, joggers, bikers as well as rollerbladers.

Vehicular circulation facilities need to provide a simple and logical system to move motor vehicles safely through the neighborhood while being fully coordinated with the pedestrian pathways. These internal drives should be designed to encourage low vehicular speeds at the same time highlighting focal points and providing windows to lakes, preserves and golf. The arrival experience should provide a warm welcome for guests and a recurring visual sense of sanctuary for residents.

BUILDING ORIENTATION

The developer should orient buildings with the living areas facing outward towards the lakes, wetlands, golf course, green space and quieter residential streets to capture the value that these features offer and to provide a lively residential character to the community's streets and parks. Ideally the building's front accessways should be oriented to residential streets with parking situated in an unobtrusive manner.

Along wetlands, lakes and golf course, buildings should be staggered yet follow natural contours thereby maximizing the visual amenity while reflecting the sinuous nature of the water's edge.

Internal to the parcel, the buildings should be oriented to create landscaped parking courts and useable open space "gardens".

Buildings facing major collector roadways need to be sufficiently setback and visually screened with a combination of appropriately sized landscape material, berming and wall features.

BUILDING MASSING, FORM AND ARTICULATION

Buildings should create visual interest at a residential scale and should harmonize with adjacent structures and surroundings.

Building articulation need not reflect the individual units in the overall massing, but a residential unit rhythm should be conveyed.

Developers are encouraged to use balconies, window treatments, banding, gables, chimneys and a minimum 6:12 roof pitch. Blank walls need to be minimized.

ARCHITECTURAL

Developers are encouraged to provide architectural improvements that meet or exceed the intent of these stated objectives. Improvements should be comparable with the improvements of surrounding neighborhoods.

MATERIALS AND COLORS

Materials must meet or exceed community standards found in adjacent structures.

In general light muted earth tone-colors should be predominate the building exteriors. A building's proposed colors must harmonize with the existing buildings in its setting.

AMENITY FACILITIES

Developers are encouraged to provide a mix of recreational amenities including but not limited to pools, tennis courts, exercise and meeting rooms. Ideally these facilities should be located in proximity to, and visible from the primary entry as well as being connected by internal walkways and drives to the rest of the development. Recreational buildings should be unique and convey the character of the development. These facilities should be the focal point and gathering place for the neighborhood. Daily mail retrieval, community notices, neighborhood and association meetings, exercise/health activities, children play activities, sunbathing, swimming and tennis are but some of the activities anticipated.

SITE FEATURES

Fountains/water features

These features should be located so as to be visible from the primary entry. Water features should be kept in scale and have limited jets, sprays and surface area, to reduce the loss of water through evaporation.

Lighting

Lighting for parking/internal drives, pedestrian areas, building structures, landscaping and entry features should utilize appropriate lighting fixtures and minimal yet adequate wattage.

Lighting should be installed to shield glare from adjacent properties. Uplights need to be concealed utilizing shrubbery. All above grade fixtures in turf areas need to be completely recessed. Lights along neighborhood walkways need to be projected downward.

Parking lot and accessway lights should have appropriately sized pole heights and adequate yet not excessive wattage. Post lights are discouraged.

Street fences/walls

Low fencing is encouraged. Materials and colors should be consistent with neighborhood structures. Walls and fencing should provide breaks in order to access residential streets to interconnect with the community sidewalk system.

Mailboxes

Grouped boxes complimentary to, or similar in architecture to principal buildings are recommended. All mailboxes should be located at recreational facility or in kiosks near the entry.

Site furniture

Site furniture should be consistent with architectural style and located in the pedestrian and recreational facility areas

Trash dumpsters/recycling containers

Recepticals should be conveniently located yet screened by a wall of appropriate height. Preferably a masonry wall on three sides with a decorative gate should be used to hide the containers. Walls are to be screened with appropriately sized vegetative material.

Flagpoles

Flag poles must be approved prior to installation. Poles should be limited in height as related to adjacent structures. Materials and colors should compliment existing structures. Only the American flag or related military service flags may be displayed.

Sculpture

Must be approved prior to installation.

Above ground mechanical /utility equipment

These types of equipment should be screened from adjacent roadways, parking areas, walkways and residential units. They may be screened with a combination of berms, landscaping and fence treatments.

SIGNAGE

Temporary

All temporary parcel announcement, construction entrance, directional and sales signs must be approved prior to installation.

(refer to approved signage standards for each Community)

Permanent street signs

All street, stop, sales and informational signs need to portray the quality and material consistent with building material and colors of the neighborhood.

Signs should be simple and uncluttered.

LANDSCAPE AND PALETTE

Existing native vegetation should be preserved, protected and incorporated into the landscape plan where possible. Exotic and prohibited vegetation must be removed. Along golf course, wetlands and other green areas, planted areas are to blend in with native vegetation

Ornamental plants should provide a transition from the natural character of the site to the man-made structures. Ground cover should begin the transition, larger shrubs and mid-story plantings closer to the building plantings should be complimentary to adjacent plant material and nearby site improvements. Trees, mid-story and shrubs should be used to break up or soften roof, blank walls and building foundation.

Encouraged are plants of appropriate size and shape with the effect of growth and maturation over time taken into account. However, plantings should be of reasonable spread and height to give a finished look at installation

To improve landscape design, developers should limit variety of plant material for a more cohesive design. Plants should be clustered or massed.

Hedge rows of trees and shrubs are not allowed. Mounding and berming needs to be installed to appear natural, not contrived

Vegetation should screen mechanical equipment, utility installations and dumpsters. Drives and parking areas need to be buffered. All buffers and screening needs to be of sufficient height in order to block out undesirable noise and/or view

Littoral plantings are required in most lakes and in specified wetland areas.

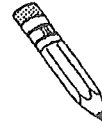
for **DESIGN PRACTICES** and **DETAILED SPECIFICATIONS** see:

- individual community design guideline documents; and
- neighborhood covenants; and
- contractual requirements

REQUEST FOR DESIGN REVIEW (941) 498-8545; FAX (941) 498-8273

To: WCI Communities, Inc.
 ATTN: Liz Whaley
 24301 Walden Center Drive
 Bonita Springs, FL 34134

Date: _____



Fill in all blanks. If a request for information does not apply, respond by indicating N/A. This request form must accompany every submittal to WCI.

Homesite: _____ Block: _____ Neighborhood: _____
(Bay Creek, Tuscany Isle, Waterside, etc..)

From: Builder's Name: _____
 Phone: _____ Fax: _____
 Model Name: _____
 A/C sq. ft.: _____ Total sq. ft.: _____
 Roof pitch: _____ FFE: _____
(Finished Floor Elevation)

End User: _____
 Mailing Address: _____

OR: Spec Model

Requesting Approval of:

- Preliminary Concept Plans (must include Site Plan, Floor Plan and Front Elevation)
- Final Construction Plans including :
 - Grading Plan (required FFE and direction of drainage flow)
 - Landscape Plan and Plant List (type, quantities, sizes and existing)
 - Exterior Materials and Colors (samples must accompany request)
- Other (revised plans, modifications, etc.)

EXTERIOR MATERIALS AND COLOR SPECIFICATIONS

	MATERIAL	COLOR #	COLOR NAME AND MANUFACTURER
1. roof:			
2. walls:			
3. trim/bands:			
trim/bands:			
4. front door:			
5. garage door:			
6. fascia:			
7. railings/fence:			
8. shutters:			
9. window frames:			Bronze <input type="checkbox"/> White <input type="checkbox"/> Other <input type="checkbox"/>
9a. Raw mill aluminum window frames not permitted.			
10. window glass:			
10a. Tempered glass or similar material recommended for all windows and sliding glass doors facing Golf Course "Mirror" finish not permitted.			
11. pool screen:			Bronze <input type="checkbox"/> White <input type="checkbox"/> Other <input type="checkbox"/>
11a. Check neighborhood covenants for color restrictions regarding screen enclosures.			
12. driveway:			
12a. Textured finish is preferred. Check neighborhood covenants for requirements.			
13. pool/patio/deck:			

ATTACH
 COLOR
 SAMPLE
 HERE

ATTACH
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ATTACH
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Mechanical equipment and trash container screening:

All mechanical equipment must be screened, preferably with low walls softened by landscaping or with plant material of sufficient quantity, size, height and density at the time of planting to adequately screen the equipment from all off-site views.
 Other information (Outdoor lighting, etc.): _____

OR BK 03272 PG 2173